

PRELIMINARY & FINAL SITE PLAN

PREPARED FOR

1652 PRINCETON AVENUE

BLOCK 103, LOTS 66, 67 & 68

SITUATE IN

LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

Block	Lot	Owner	Address	City/Town	Zip	Land Use
102	1, 2	SKORA, ROMAN LUX	971 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	3, 4, 5	NUSSE, RONALD LUX	969 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	6, 7, 8	JASKOWSKI, TOMASZ J & EWA	967 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	9, 10	GONZALEZ RODRIGUEZ, GUAMERCINDO	965 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	69, 84	BERGSTEIN, CANDACE	68 MYRTLE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	85	RIVERA, JAVIER	74 MYRTLE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	86	CIRCLE MANAGEMENT	726 HIGHWAY 33	HAMILTON, NJ	08513	COMMERCIAL
	87	PADALINO, BARTOLO & ROSA	144 OLD DENZOW RD	LAWRENCEVILLE, NJ	08648	COMMERCIAL
	88	SAH, HASBI A ET AL	1634 PRINCETON AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	89, 90	PAK, JUNG OBE & OBE YOL	965 PINE ST	LAWRENCEVILLE, NJ	08648	COMMERCIAL
103	1	RUSIN, CZESLAW & ZOFIA	1990 PRINCETON AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	2, 3	NTKEMEZ, DANNAN	71 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	4	PISANKO, BONIFACI	61 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	5	MODELI, LOGAN & GOTOWICKA, B & J	59 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	6	HAMBLEY, GERALDINE B	1041 POTTS MILL RD	BORDENTOWN, NJ	08605	RESIDENTIAL
	7	CASULLO, FRANCIS	51 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	8	GLOMINA, ANASTASIA	49 VERMONT AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	55, 56	CICHOCA, MARCELA	364 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	57, 58	GONKA, ROSAL & JOSEPH S	366 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	59, 60	LITWIN, EWA	368 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	61, 62	POJAK, MICHAEL J	360 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	63, 65	ALI, MOHAMMAD S	362 PINE ST	LAWRENCE TOWNSHIP, NJ	08648	RESIDENTIAL
	69	MARTYNIK, ANTHONY	1990 BRUNSWICK PINE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	70, 72	RUSIN, CZESLAW & ZOFIA	1990 PRINCETON AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	73, 75	VERMONT, LLC	75 VERMONT AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	74	KOPRINSKI, JESSICA	60 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	66	KOLODKO, ANNE	12 VERMONT ST	LAWRENCE TOWNSHIP, NJ	08648	RESIDENTIAL
104	66	ROBATI, KORNEL J & HORACE J JR	68 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	67	CHAUDHRY, SOBHAATA	78 LAWR PENN RD	LAWRENCE TOWNSHIP, NJ	08648	RESIDENTIAL
	68	RYAN, ROBERT J	109 DEERPATCH DRIVE	WASHINGTON CROSSING, PA	19377	RESIDENTIAL
	69	VENTIGLIUR, PHILIP A	107 JON AVENUE	TRENTON, NJ	08660	COMMERCIAL
201	27	TRENTON MKT GROWERS COOP ASSN	966 SPRUCE ST	LAWRENCEVILLE, NJ	08648	COMMERCIAL
	28	TRENTON MKT GROWERS COOP ASSN	2800 POST OAK BLVD #3700	HOUSTON, TX	77066	COMMERCIAL
	29	AMER, RAM M	112 LAWR PENN RD	LAWRENCEVILLE, NJ	08648	COMMERCIAL
	30	VERNON HWY 337 PROPERTY TAX	C/O DUFF & PHELPS PO 2749	ACADIAN, TX	79001	COMMERCIAL
	31	MHP MANAGER COMPANY LLC	1602 PENNINGTON ROAD	LYONS, NJ	08618	COMMERCIAL
	33, 34	KS PROPERTY INVESTMENT GROUP LLC	1917 PRINCETON AVE	LAWRENCEVILLE, NJ	08648	COMMERCIAL
	35	PRIN AVE ASSOC LLC - ERMELO OBLEADA	C/O 1 GREENFIELD DR NORTH	WEST WINDSOR, NJ	08850	COMMERCIAL

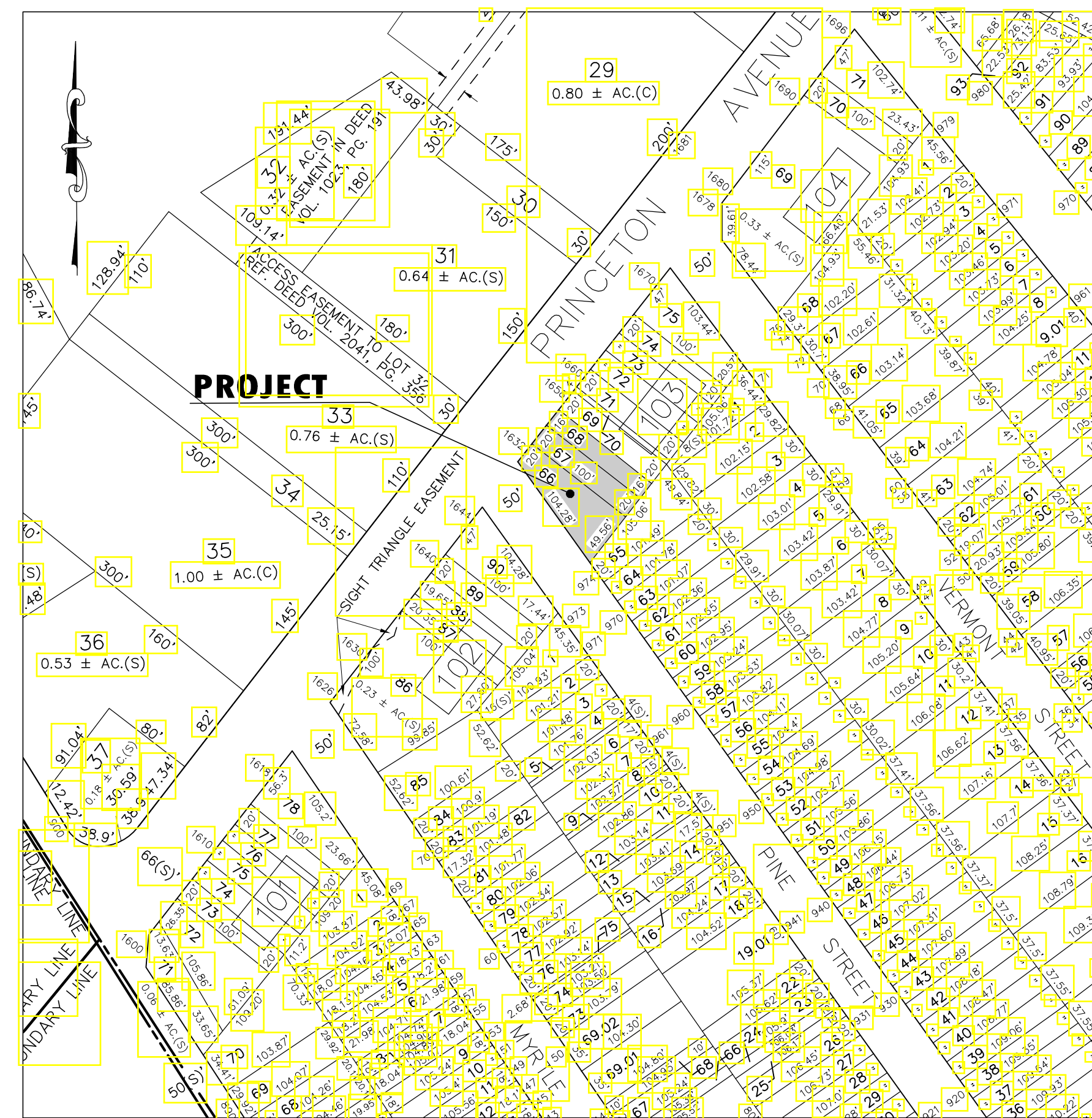
NOTE: THE RESIDENTIAL USES ON LOTS 65 & 69 (BLOCK 103) ARE SUBJECT TO A 25' BUFFER FROM THE PROPOSED COMMERCIAL USE. A VARIANCE IS REQUESTED FOR PROVIDING A FULL 25-FOOT BUFFER.

AGENCIES REQUIRING NOTICE

Corporate Secretary Mercer County Planning Board 100 Whitehead Road Lawrenceville, NJ 08648	Corporate Secretary Public Service Electric & Gas Company 80 Park Plaza, 4th Newark, NJ 07102
N.J. American Water 1015 Laurel Oak Road Trenton, NJ 08646 ATTN: Diana Short	BlueBelltown Gas Company One BlueBelltown Plaza The Woodbury Park Linden, NJ 07036-1975
Corporate Secretary Trenton Water Works 101, Back 138 Trenton, NJ 08604	Corporate Secretary Verizon 440 Broad Street Newark, NJ 07102
Atmos Water Company 1975 Mill Road Trenton, NJ 08601 ATTN: James Barbato	General Manager Comcast Cablevision 140 Prospect Street Trenton, NJ 08638
FCN Corporation 101 Campus Center Princeton, NJ 08540	Corporate Secretary AT&T 14747 Way Bedminster, NJ 07921
Mercer County Planning Board 140 South Broad Street P.O. Box 8008 Trenton, NJ 08646-8008	Corporate Secretary Jersey Central Power and Light 300 Madison Avenue Morristown, NJ 07960
San Pipe Line Company ATTN: R. O. W. Department 1801 Market Street 36th Floor Philadelphia, Pa 19103-3899	Corporate Secretary Transmission of Gas Pipe Line Corporation 2800 West Oak Boulevard Houston, TX 77056
Right of Way Department Municipal Engineer 125 Princeton Road Lawrenceville, NJ 08648	Commissioner N.J. Department of Transportation 2025 Parkway Avenue, CN 6000 Trenton, NJ 08625

SHEET INDEX

- 1 COVER SHEET
 - 2 AERIAL MAP
 - 3 DEMOLITION PLAN
 - 4 SITE PLAN
 - 5 GRADING & UTILITY PLAN
 - 6 LANDSCAPING PLAN
 - 7 LIGHTING PLAN
 - 8 TRAFFIC CONTROL PLAN
 - 9 - 11 CONSTRUCTION DETAILS
- SUPPLEMENTAL SHEETS**
- 1 BOUNDARY & TOPOGRAPHIC SURVEY



KEY MAP

SCALE: 1"=100'

REQUIRED REGULATORY APPROVALS

1. MERCER COUNTY PLANNING BOARD
2. EWING - LAWRENCE SEWERAGE AUTHORITY
3. TRENTON WATER WORKS

OWNER & APPLICANT:

MITCH BROWN
CIRCLE MANAGEMENT
724 ROUTE 33
HAMILTON, NJ 08619

I/WE ARE THE OWNER OF THE PROPERTY AS DESIGNATED AND SHOWN HEREON AND HEREBY APPROVE THE FILING OF THIS PLAN WITH THE TOWNSHIP OF LAWRENCE ZONING BOARD.

Mitch Brown
5/24/21
DATE

ACREAGE SUMMARY

LOT-66	3,478 S.F. / 0.080 AC.
LOT-67	2,000 S.F. / 0.046 AC.
LOT-68	1,600 S.F. / 0.036 AC.
TOTAL LOTS 66, 67 & 68	7,078 S.F. / 0.162 AC.

LAWRENCE TAX MAP INFORMATION:

BLOCK	103
LOTS	66, 67 & 68
SHEET	1

RECORD DEED INFORMATION:

BLOCK-103, LOTS 66, 67 & 68	
DEED BOOK	6312
PAGE	1679

APPROVAL SIGNATURES

APPROVED BY THE TOWNSHIP OF LAWRENCE ZONING BOARD:

CHAIRPERSON _____ DATE _____

SECRETARY _____ DATE _____

MUNICIPAL ENGINEER _____ DATE _____

PREPARED BY



With Offices In
New Jersey, Pennsylvania & Delaware

Van Cleef
ENGINEERING ASSOCIATES
SOUTHCENTRAL NEW JERSEY OFFICE
4 AAA DRIVE, SUITE 103 HAMILTON, NJ 08619
EMAIL: CONTACTUS@VANCLEEENGINEERING.COM
WEB: WWW.VANCLEEENGINEERING.COM
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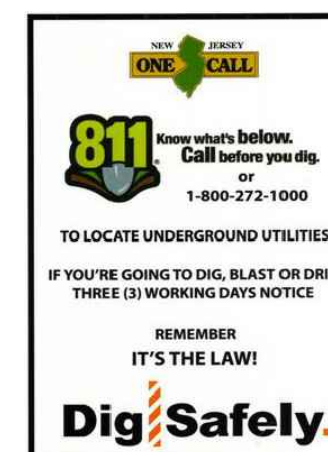
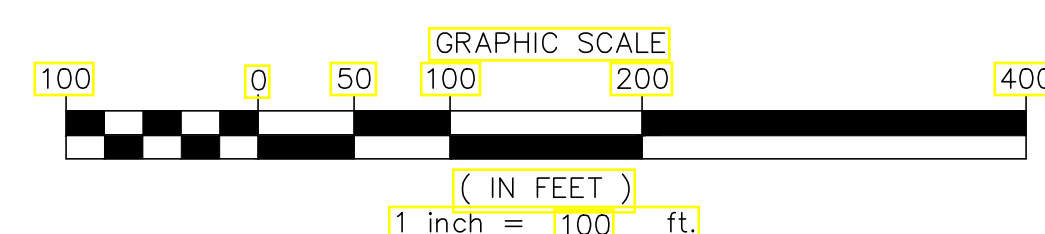
REVISIONS PER TOWNSHIP COMMENTS	JAB	5/24/21
REVISIONS PER COMPLETENESS REVIEW	JAB	1/4/21
REVISIONS	AUTH.	DATE

BY:
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800 DATE: 5/24/21



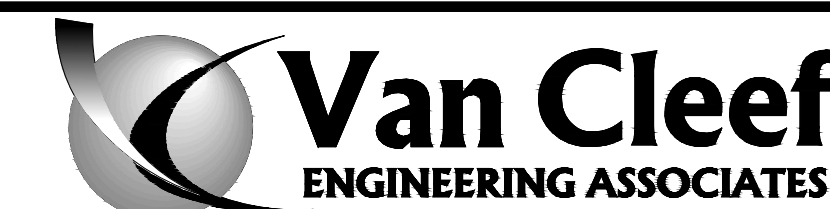
GENERAL NOTES:

1. THIS AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON AERIAL PHOTOGRAPHY OF THE STATE OF NEW JERSEY FURNISHED ON THE NJGN WEB SITE IN 2015. THE CONDITIONS OF THE SITE AND SURROUNDING AREA MAY HAVE CHANGED SINCE THE DATE OF THE PHOTOGRAPHY AND THEREFORE THE PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.
2. THIS MAP SHALL SERVE TO SHOW ALL SIGNIFICANT FEATURES WITHIN 2,000 FEET OF THE PROPERTY IN QUESTION, INCLUDING SCHOOLS, PARKS, MAJOR STREETS, ZONING BOUNDARIES, MAJOR SHOPPING CENTERS AND EMPLOYMENT CENTERS AS REQUIRED ON HAMILTON TOWNSHIP CHECKLIST FORM NUMBER 2C.
3. THERE ARE NO FLOOD HAZARD AREAS, FLOODWAYS OR AREA WITHIN THE 500-YEAR FLOODPLAIN LOCATED ON THE PROPERTY IN QUESTION OR ITS ADJOINING PROPERTIES.



DATE:	JULY 1, 2020	
SCALE:	1"=100'	
DESIGNED BY:	J.A.B.	
DRAWN BY:	R.R.F.	
CHECKED BY:	J.A.B.	
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21	
REVISIONS	AUTH. DATE JOB NO.	
		1804LA

BY:  DATE: 5/24/21
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800



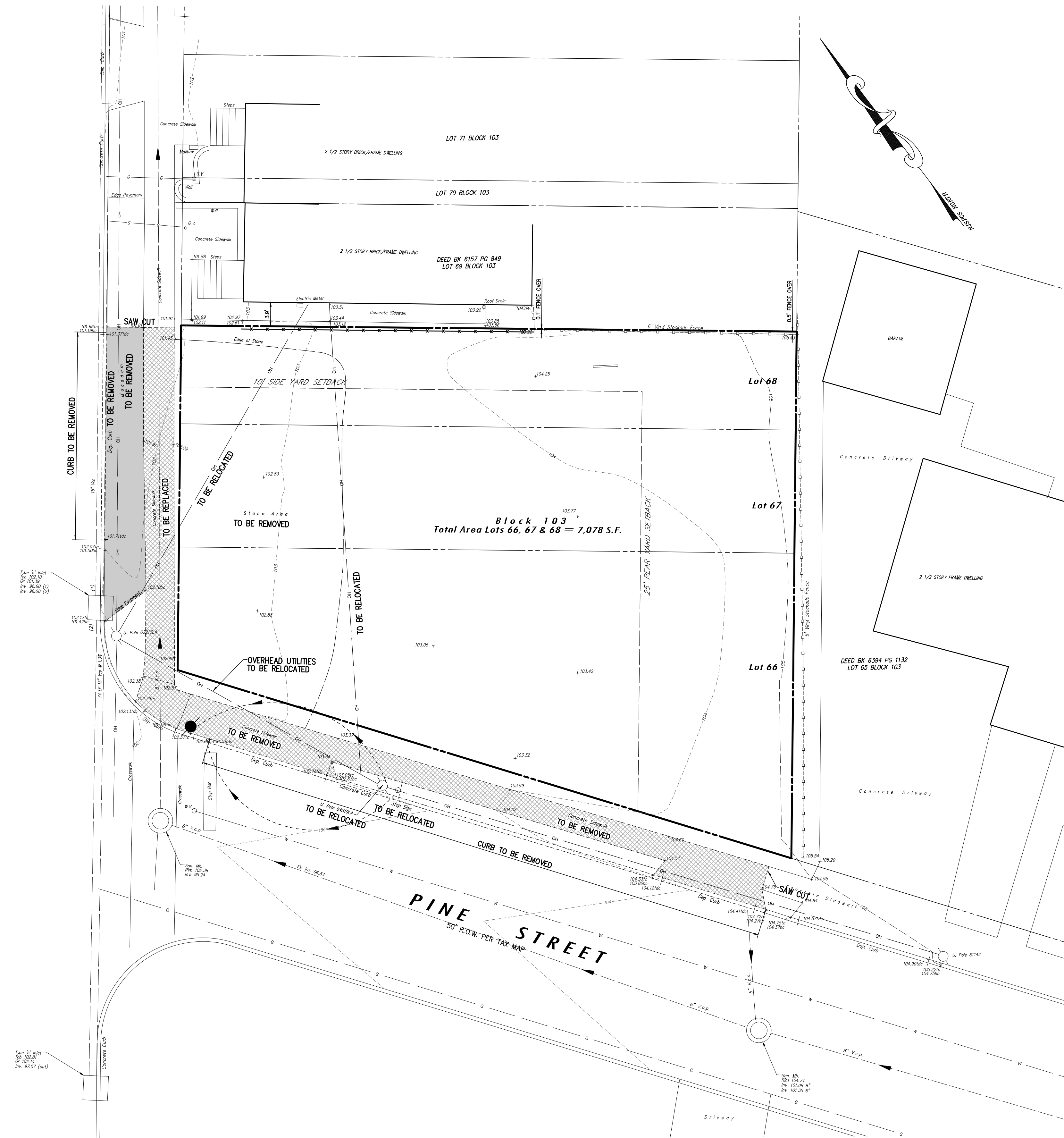
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 NJ LLC CERT. No. 24GA28132300

With Offices In
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 SOUTH CENTRAL NEW JERSEY OFFICE
 4 AAA DRIVE, SUITE 103, HAMILTON, NJ 08691
 EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
 WEB: WWW.VANCLEEFENGINEERING.COM
 PHONE: (609) 689-1100 FAX: (609) 689-1120

AERIAL MAP
 PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE

SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

COUNTY ROUTE 583
PRINCETON AVENUE
66' R.O.W. TAX MAP



EXISTING	LEGEND	PROPOSED
	SANITARY SEWER	
	STORM SEWER	
	FLARED END SECTION	
	DRAINAGE INLET	
	DRAINAGE MANHOLE	
	HEADWALL	
	SANITARY SEWER MANHOLE	
	FIRE HYDRANT	
	SIGN	
	UTILITY POLE	
	VALVE	
	WATER MAIN	
	GAS MAIN	
	ELECTRIC LINE	
	TELEPHONE LINE	
	GRADE ELEVATION	
	CONTOUR ELEVATION	
	TO BE REMOVED	
	BOLLARD	
	CONCRETE REMOVAL	
	PAVEMENT REMOVAL	
	PAVEMENT MILLING	
	TO BE REMOVED	

REFERENCE PLANS:
1. RIGHT OF WAY AND PROPERTY LINES TAKEN FROM FILED MAPS, DEEDS AND TAX MAPS AND COMBINED WITH R.O.W. & PROPERTY CORNER MARKER FOUND WHEN FIELD SURVEY WAS PERFORMED.

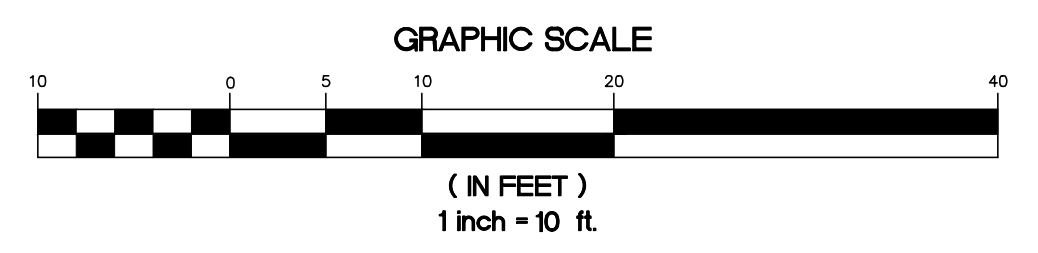
REFERENCE DATUM:
1. DATUM USED BASED ON NAVD83 AND NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD83

LAWRENCE TOWNSHIP TAX MAP INFORMATION
BLOCK ----- 103
LOTS ----- 66, 67 & 68
SHEET ----- 1

RECORD DEED INFORMATION
BLOCK-103, LOTS 66, 67 & 68
DEED BOOK ----- 6312
PAGE ----- 1679

- SURVEY NOTES:**
- THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON JUNE 19, 2020.
 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO ORDER UTILITY MARKOUTS.
 - ABOVE GROUND PHYSICAL FEATURES AS SHOWN ARE BASED ON FIELD SURVEY.
 - BOUNDARY INFORMATION BASED ON THE REFERENCED DEEDS, BEARING SHOWN ARE IN NAD 83.
 - SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY AND EXCEPTIONS OF RECORD.
 - THE LOCATION OF UNDERGROUND UTILITIES, AS DEPICTED, ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF THE SURVEY. THEREFORE, THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT ARE NOT SHOWN. VAN CLEEF ENGINEERING ASSOCIATES DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR ABSENCE OF UTILITIES.
 - THE POSSIBILITY OF UNDERGROUND STORAGE TANK WAS NOT FOUND AT THE TIME OF THE FIELD SURVEY.
 - CORNER MARKERS SHOWN HEREON HAVE BEEN FOUND. ANY MISSING CORNER MARKERS WILL NOT BE SET AS DIRECTED BY THE ULTIMATE USER.
 - THE RIGHT-OF-WAY LINE SHOWN IS APPROXIMATE AND IS BASED IN TAX MAP INFORMATION AND INFORMATION FROM DEEDS FOUND.

DEMOLITION PLAN
SCALE : 1"=10'



DATE:	JULY 1, 2020
SCALE:	1"=10'
DESIGNED BY:	J.A.B.
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS	AUTH. DATE JOB NO. 1804LA

BY: DATE: 5/24/21
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800

Van Cleaf
ENGINEERING ASSOCIATES

SOUTHCENTRAL NEW JERSEY OFFICE
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SITUATE IN
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COUNTY ROUTE 583
PRINCETON AVENUE
66' R.O.W. TAX MAP

LEGEND

EXISTING	PROPOSED

SCHEDULE OF REQUIREMENTS - NEIGHBORHOOD CENTER 1 (NC-1) DISTRICT

ZONE REQUIREMENT	NC-1 ZONE REQUIREMENTS	PROPOSED
MINIMUM LOT AREA	5,000 SF	7,078 SF
MINIMUM LOT FRONTAGE	50 FT	56 FT
MINIMUM LOT WIDTH	50 FT	56 FT
MINIMUM LOT DEPTH	90 FT	100 FT
MINIMUM FRONT YARD	0 FT	0 FT
MINIMUM SIDE YARD	10 FT	11 FT
MINIMUM REAR YARD	25 FT	73 FT
MINIMUM ACCESSORY SETBACK	5 FT	5 FT
PERMISSIBLE SURFACE RATIO	0.8	0.699
FLOOR AREA RATIO	0.3	0.34 (V)
MAXIMUM BUILDING SIZE	10,000 SF	1,215 SF

(V) = VARIANCE REQUESTED

PARKING REQUIREMENTS

REQUIRED:
COMMERCIAL = 1 PER 200 SF
1,215 SF = 6.1 SPACES REQ.

3 BEDROOM APARTMENT = 2.1 SPACES
1 APARTMENT = 2.1 SPACES

PROVIDED:
ON SITE PARKING = 9 SPACES
ON STREET PARKING = 3 SPACES

TOTAL PROVIDED = 12 SPACES

REFERENCE PLANS:

- RIGHT OF WAY AND PROPERTY LINES TAKEN FROM FILED MAPS, DEEDS AND TAX MAPS AND COMBINED WITH R.O.W. & PROPERTY CORNER MARKER FOUND WHEN FIELD SURVEY WAS PERFORMED.

REFERENCE DATUM:

- DATUM USED BASED ON NAVD88 AND NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD83

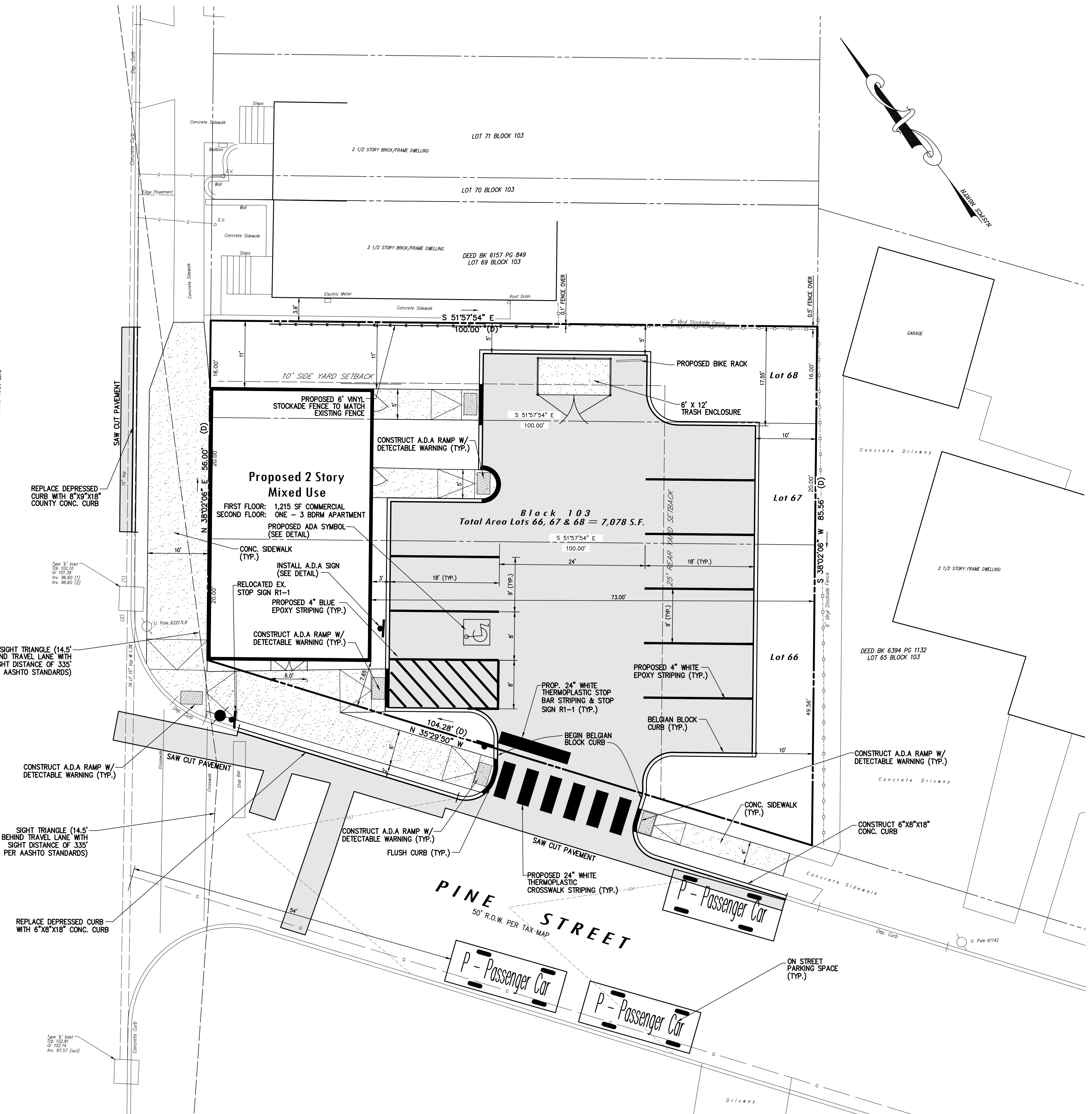
LAWRENCE TOWNSHIP TAX MAP INFORMATION

BLOCK - 103
LOTS - 66, 67 & 68
SHEET - 1

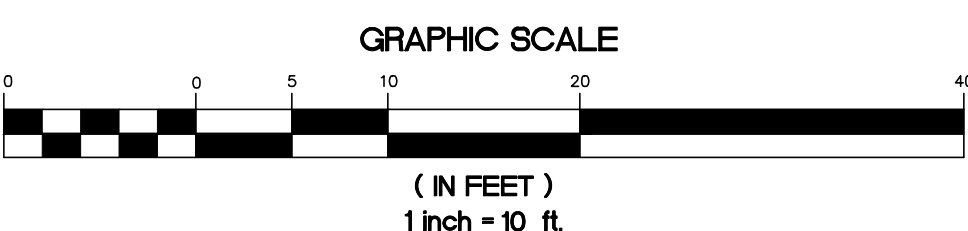
RECORD DEED INFORMATION

BLOCK-103, LOTS 66, 67 & 68
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PAGE - 1679

- SURVEY NOTES:**
- THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON JUNE 19, 2020.
 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO ORDER UTILITY MARK-OUTS.
 - ABOVE GROUND PHYSICAL FEATURES AS SHOWN ARE BASED ON FIELD SURVEY.
 - BOUNDARY INFORMATION BASED ON THE REFERENCED DEEDS, BEARING SHOWN ARE IN NAD 83.
 - SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY AND EXCEPTIONS OF RECORD.
 - THE LOCATION OF UNDERGROUND UTILITIES, AS DEPICTED, ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF THE SURVEY. THEREFORE, THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT ARE NOT SHOWN. VAN CLEEF ENGINEERING ASSOCIATES DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR ABSENCE OF UTILITIES.
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SITE PLAN
SCALE : 1"=10'



811
Call before you dig.
1-800-272-1000
TO LOCATE UNDERGROUND UTILITIES
IF YOU'RE GOING TO DIG, BLAST OR DRILL
THREE (3) WORKING DAYS NOTICE
REMEMBER
IT'S THE LAW!
Dig Safely.

ONE CALL
NEW JERSEY
LLAME ANTES DE EXCAVAR
811
1-800-272-1000
PARA LOCALIZAR LAS UTILIDADES SUBTERRANIAS
UN DIA ANTES DE EXCAVAR, BLOQUEAR O LAZARAS
DE AVISO PRE-TRABAJOS
RECUERDE
ES LA LEY!
EXCAVE CON SEGURIDAD
Dig Safely.

DATE:	JULY 1, 2020
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REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
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BY:
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DATE: 5/24/21

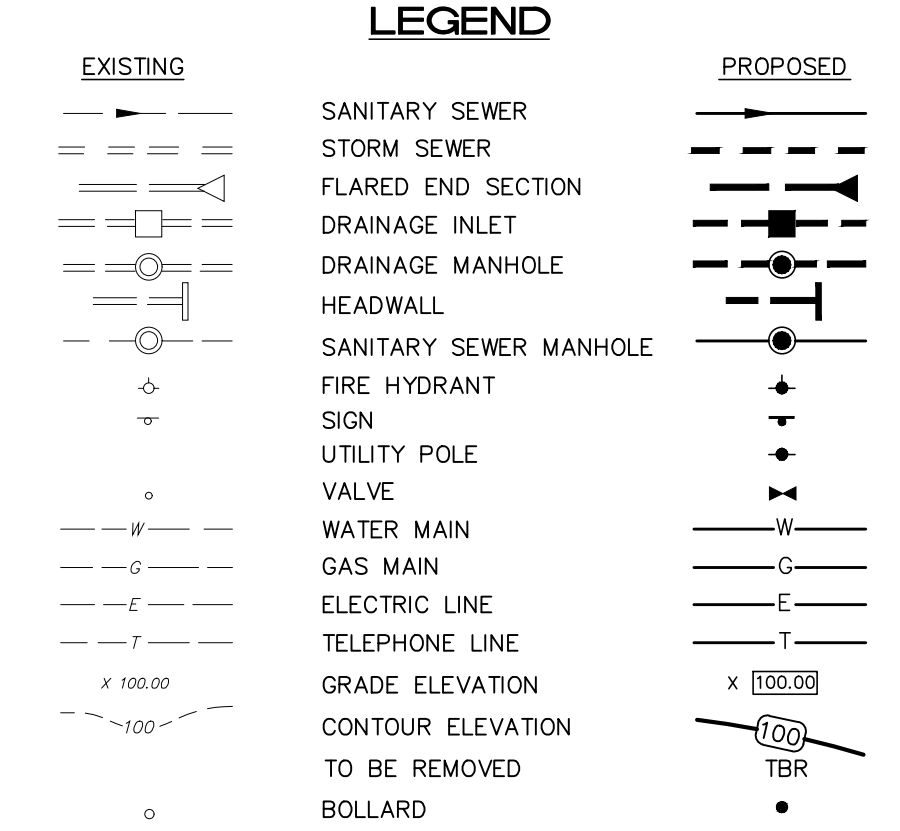
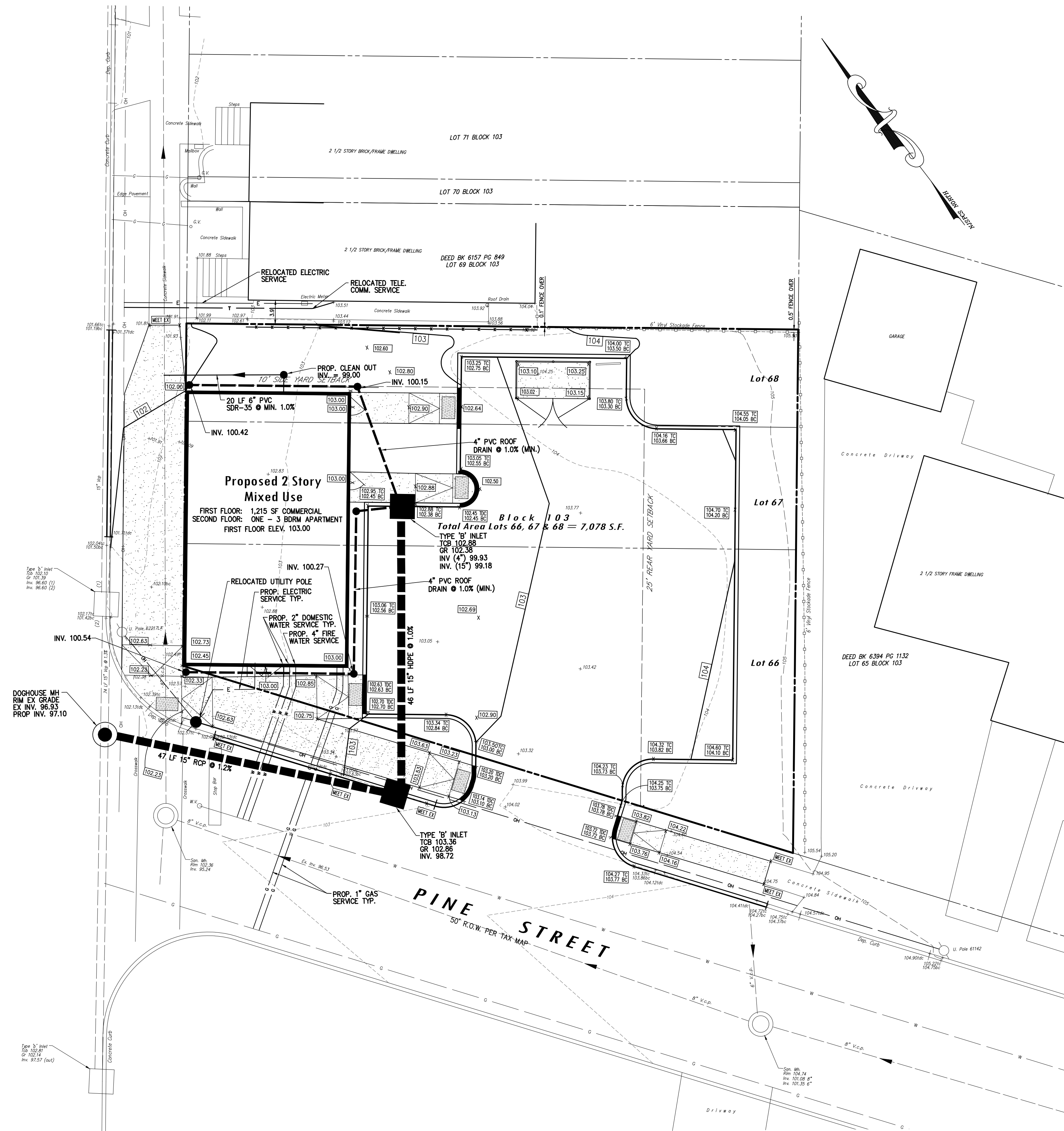
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COUNTY ROUTE 583
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66' R.O.W. TAX MAP

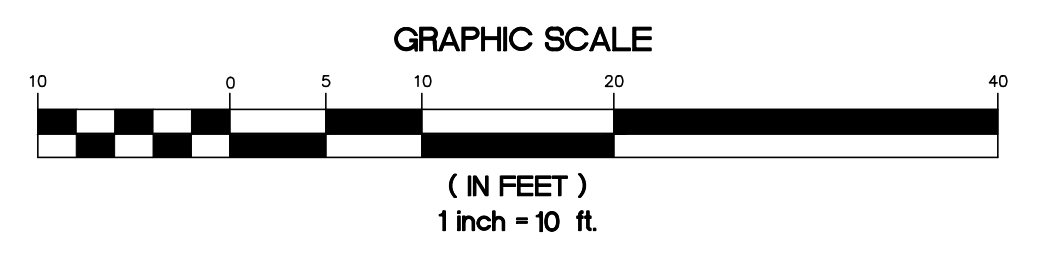


Proposed 2 Story Mixed Use
FIRST FLOOR: 1,215 SF COMMERCIAL
SECOND FLOOR: ONE 3 BDRM APARTMENT
FIRST FLOOR ELEV. 103.00

Block 103
Total Area Lots 66, 67 & 68 = 7,078 S.F.

GRADING & UTILITY PLAN
SCALE: 1"=10'

- REFERENCE PLANS:**
- RIGHT OF WAY AND PROPERTY LINES TAKEN FROM FILED MAPS, DEEDS AND TAX MAPS AND COMBINED WITH R.O.W. & PROPERTY CORNER MARKER FOUND WHEN FIELD SURVEY WAS PERFORMED.
- REFERENCE DATUM:**
- DATUM USED BASED ON NAVD88 AND NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD83
- LAWRENCE TOWNSHIP TAX MAP INFORMATION**
- BLOCK ----- 103
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PAGE ----- 1679
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 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO ORDER UTILITY MARKOUTS.
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811 **Call before you dig.**
1-800-272-1000
TO LOCATE UNDERGROUND UTILITIES
IF YOU'RE GOING TO DIG, BLAST OR DRILL
THREE (3) WORKING DAYS NOTICE
REMEMBER
IT'S THE LAW!
RECUERDSE
ES LA LEY!
EXCAVE CON SEGURIDAD
Dig Safely.

NEW JERSEY
LLAME ANTES DE EXCAVAR
811
1-800-272-1000
PARA LOCALIZAR LAS UTILIDADES SUBTERRANEAS
SI VAYEN A RECONSTRUIR, INSTALAR O TRABAJAR
EN UNO DE LOS SIGUIENTES TRABAJOS:
RECONSTRUCCION
ES LA LEY!
EXCAVE CON SEGURIDAD
Dig Safely.

DATE:	JULY 1, 2020
SCALE:	1"=10'
DESIGNED BY:	J.A.B.
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
REVISIONS	AUTH. DATE JOB NO. 1804LA

BY: DATE: 5/24/21
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800

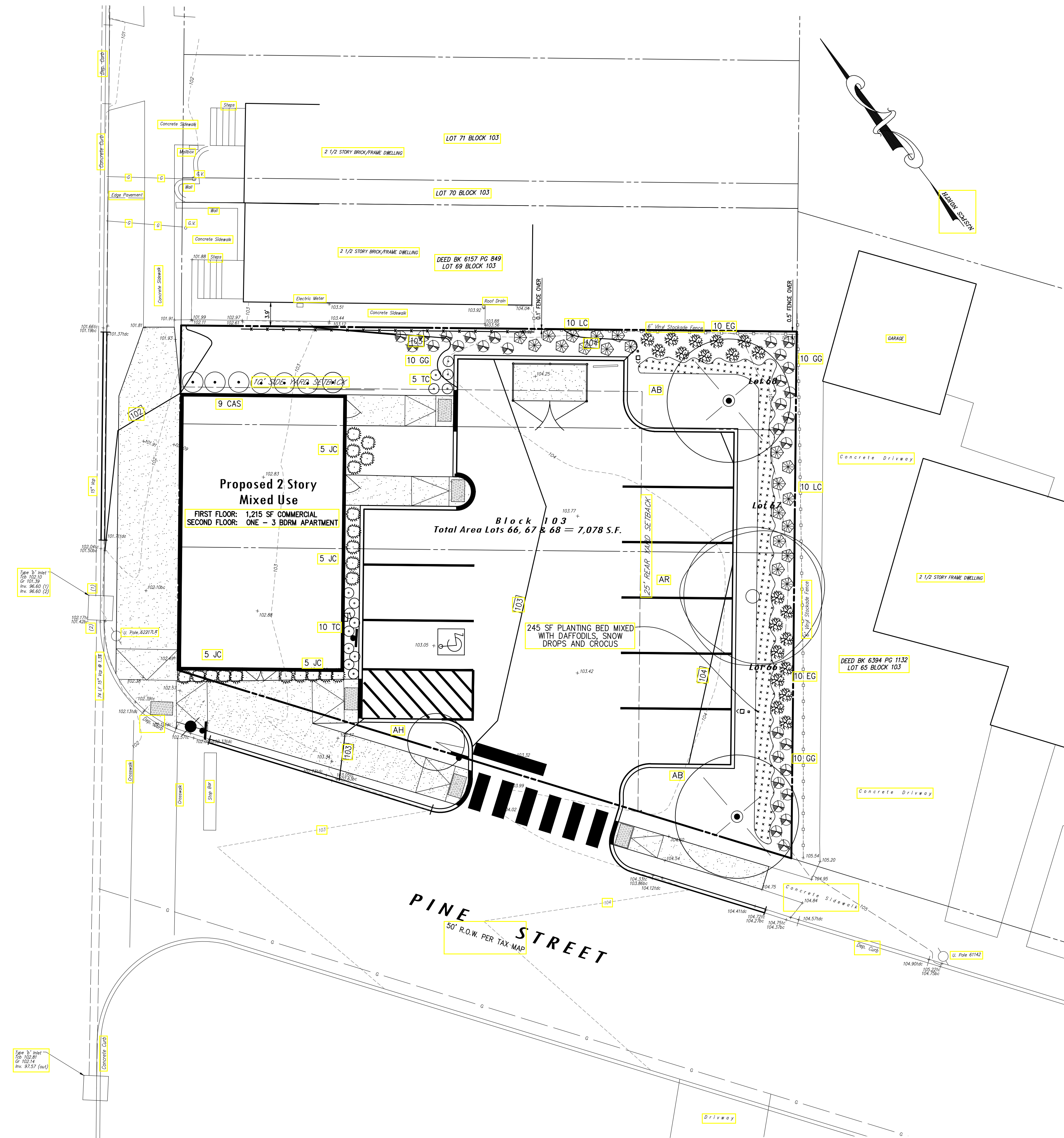
Van Cleef
ENGINEERING ASSOCIATES

Consulting Civil Engineering
Bridge Design
Highway Design
Construction Inspection
Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture

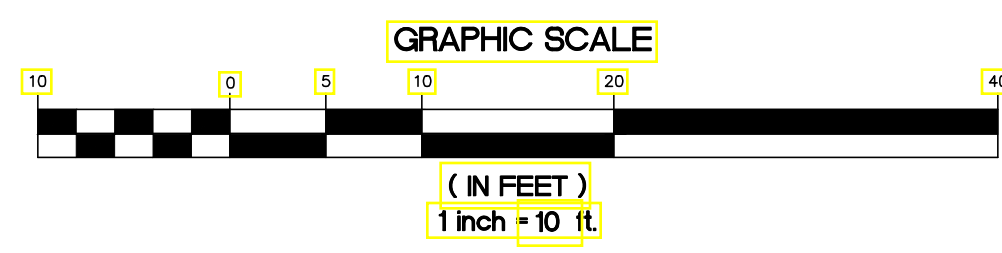
Southcentral New Jersey Office
4 ASA DRIVE, SUITE 103 HAMILTON, NJ 08611
EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
PHONE (609) 689-1100 FAX (609) 689-1120
NJ LLC CERT. No. 24GA2813200

GRADING & UTILITY PLAN
PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

COUNTY ROUTE 583
PRINCETON AVENUE



LANDSCAPING PLAN
SCALE : 1"=10'



LANDSCAPE SCHEDULE:

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	REMARKS
TREES					
AB	2	Acer buergerianum	Trident Maple	2 1/2"-3" CAL.	B&B
AH	1	Amelanchier x hybrida 'Cumulus'	Shadbolt 'Cumulus'	2 1/2"-3" CAL.	B&B
AR	1	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	3"-3.5" CAL.	B&B
SHRUBS					
CAS	8	Cornus alba sibirica	Trotator Dogwood	3'-4' HT.	#3 CAN
TC	15	Taxus cuspidata densiformis	Dense Yew	3.5'-4' HT.	#3 CAN
JC	20	Juniperus chinensis glauca hetzi	Hetz Juniper	2.5'-3' HT.	#3 CAN
GG	20	Thuja stanishii x plicata 'Green Giant'	Green Giant	5'-6' HT.	#3 CAN
LC	20	x Hesperotropsis leylandii	Leyland Cypress	5'-6' HT.	#3 CAN
EG	20	Thuja occidentalis	Emerald Green Arborvitae	5'-6' HT.	#3 CAN

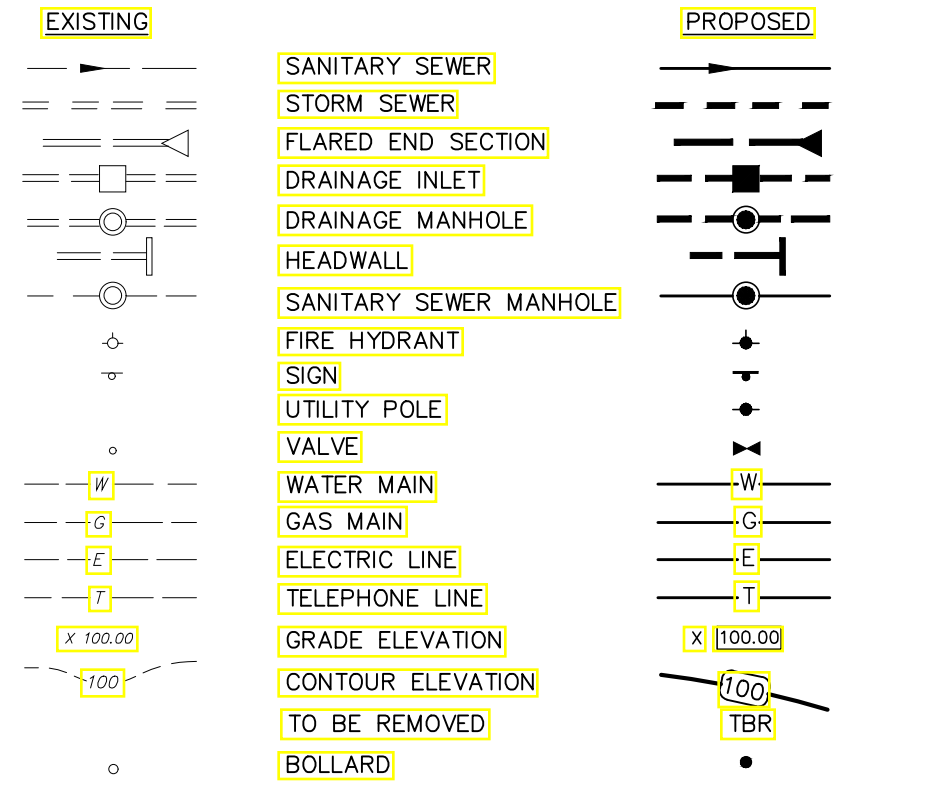
- GENERAL LANDSCAPE NOTES:**
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY, AND SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND WOOLY/FIBROUS ROOT SYSTEMS. ALL PLANTS SHALL BE NURSERY-GROWN UNLESS OTHERWISE STATED. THEY SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE MUNICIPALITY FOR AT LEAST TWO (2) YEARS PRIOR TO DATE OF PLANTING. ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR CONDITION OR WHICH ARE NOT TRUE TO NAME SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE PLANTS.
 - ALL PLANT MATERIAL SHALL BE TWICE TRANSPLANTED, NURSERY-GROWN OF SPECIMEN QUALITY. THEY SHALL BE OF SYMMETRICAL GROWTH OR TYPICAL OF THE VARIETY AND SUPPLIED FROM SOURCES IN THE SAME HARDNESS ZONE AS THE DEVELOPMENT IS LOCATED AND FREE OF INSECT AND DISEASE PROBLEMS OR QUESTIONABLE DISPOSITIONS. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN.
 - ALL PLANTING BEDS SHALL RECEIVE MINIMUM 4" OF SHREDDED HARDWOOD BARK.
 - ALL SHRUB MASSSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
 - ALL PLANTINGS SHALL OCCUR BETWEEN MARCH AND MAY OR SEPTEMBER AND OCTOBER.
 - PLEASE REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLANS FOR SEEDING SCHEDULE, SLOPE STABILIZATION AND PROPOSED SOIL EROSION AND SEDIMENT CONTROL SPECIFICATIONS.
 - ALL LANDSCAPING SHALL BE INSTALLED PER THE LAWRENCE TOWNSHIP LANDSCAPE NOTES AND REQUIREMENTS OF SECTION 525 OF THE LAWRENCE TOWNSHIP LAND USE DEVELOPMENT.

LAWRENCE TOWNSHIP LANDSCAPE NOTES:

§ 525 Landscaping.

- A. **General Provisions.** The following general provisions shall apply to the installation and design of landscapes:
- All land areas not covered with buildings, parking, or other impervious surfaces shall be landscaped with suitable materials. Landscaping shall consist of trees, shrubs, ground cover, perennials, and annuals singly or in common as well as other inanimate materials such as rocks, water, sculpture, art, walls, fences, and paving materials.
 - A landscape design shall be provided as part of site plan and subdivision submissions in accordance with Article VIII. Every applicant for subdivision or site plan approval shall comply with the minimum standards as set forth in this section.
 - The Board of Jurisdiction may require additional landscaping to create an appropriate landscaping scheme for the site given the nature of the site and the proposed development.
 - Where subdivisions only are applied for, the minimum standards shall apply only to street trees and to common open space and areas proposed to be dedicated to the public.
 - All landscape plants shall be typical in size and weight for their species and shall conform to the standards of the American Association of Nurserymen for quality and installation.
 - Plants with pervasive root systems shall not be located where they may cause damage to drainage pipes or other underground utilities and storm water management facilities and should generally be no closer than 10 feet measured horizontally.
 - All plants shall be tolerant of specific site conditions. The use of indigenous species is strongly encouraged. Exotic, non-native invasive plant species shall not be permitted.
 - Visual screening is required to buffer all trash enclosures, above ground propane tanks and other similar structures as identified by the Zoning Officer. (Ord.1585-99, 9/7/1999)
- B. **Landscape Design Guidelines.**
- Landscaping shall be conceived holistically and be designed to achieve a thorough integration of the various elements of site design, including building and parking placement, the natural features of the site and the preservation of pleasing or aesthetic views. Landscaping shall be used to accent and complement the form and type of building proposed.
 - In the landscape design of sites, areas shall be designated for retaining existing trees and the replacement of trees cleared from the site in accordance with §541.
 - Landscaping shall be located to provide effective climatic control. The east and west walls of a building should be the most heavily vegetated to shade for summer sun and the north to northwest area for winter prevailing winds. The southerly facing side of a building should be shaded from summer sun but open for solar gain during the winter.
 - Plant's susceptibility to disease, their colors, textures, shapes, blossoms, and foliage characteristics shall be considered in the overall design of a landscape plan.
 - Local soil conditions and water availability shall be considered in the choice of landscaping.
 - In the design process, the eventual maturity of the plant shall be considered for its effect on circulation patterns, solar access, site lighting, drainage, emergency access and relationship to buildings and the streetscape.

LEGEND



REFERENCE PLANS:

- RIGHT OF WAY AND PROPERTY LINES TAKEN FROM FILED MAPS, DEEDS AND TAX MAPS AND COMBINED WITH R.O.W. & PROPERTY CORNER MARKER FOUND WHEN FIELD SURVEY WAS PERFORMED.

REFERENCE DATUM:

- DATUM USED BASED ON NAVD83 AND NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD83

LAWRENCE TOWNSHIP TAX MAP INFORMATION

BLOCK	103
LOTS	66, 67 & 68
SHEET	1

RECORD DEED INFORMATION

BLOCK-LOTS	103, LOTS 66, 67 & 68
DEED BOOK	6312
PAGE	1679

SURVEY NOTES:

- THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON JUNE 19, 2020.
- THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
- IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO ORDER UTILITY MARKOUTS.
- ABOVE GROUND PHYSICAL FEATURES AS SHOWN ARE BASED ON FIELD SURVEY.
- BOUNDARY INFORMATION BASED ON THE REFERENCED DEEDS, BEARING SHOWN ARE IN RAD 83.
- SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY AND EXCEPTIONS OF RECORD.
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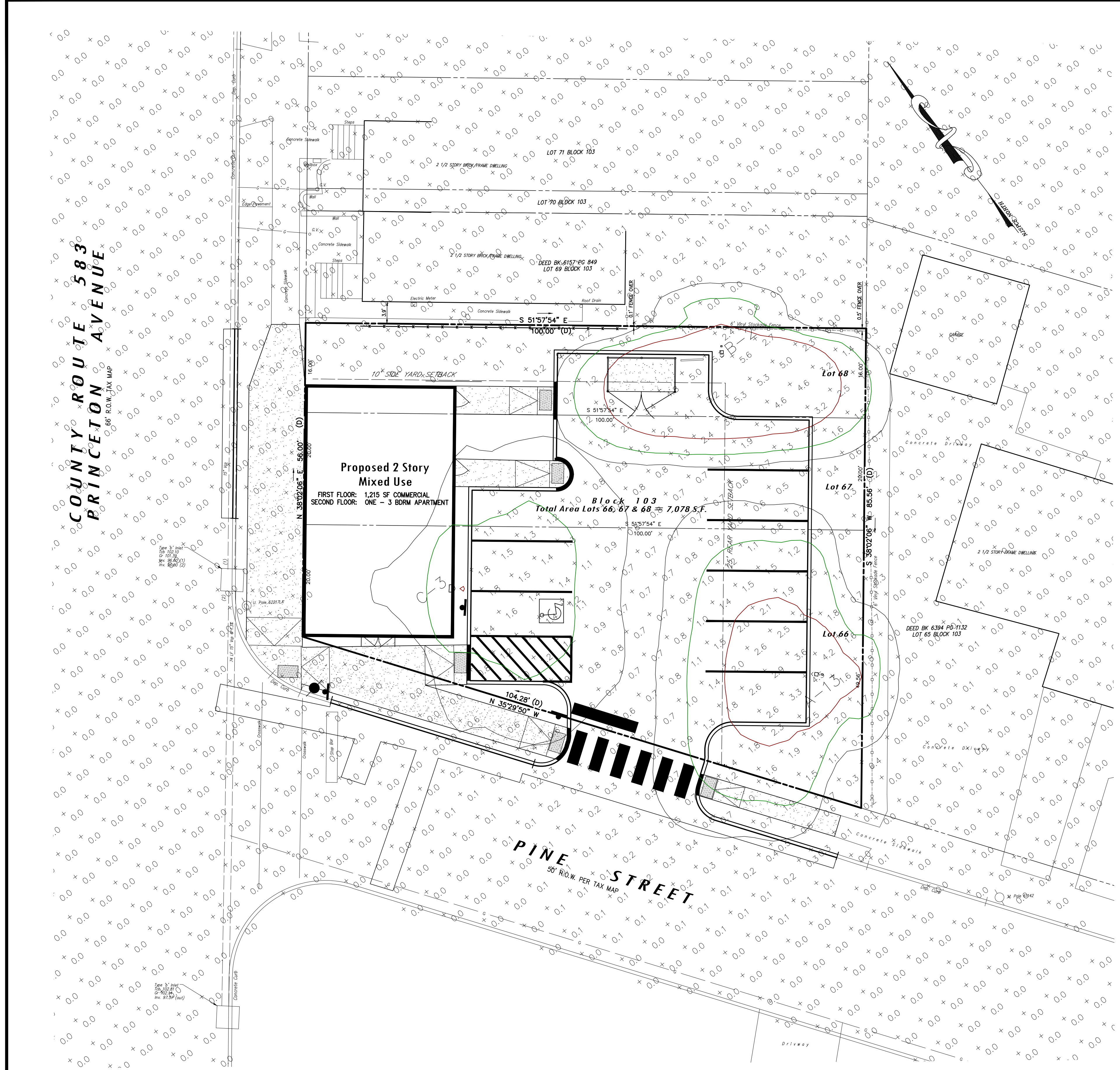
DATE:	JULY 1, 2020
SCALE:	1"=10'
DESIGNED BY:	J.A.B.
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS PER TOWNSHIP COMMENTS:	JAB 5/24/21
REVISIONS PER COMPLETENESS REVIEW:	JAB 1/4/21
REVISIONS:	AUTH. DATE JOB NO. 1804LA

BY: DATE: 5/24/21
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800

Consulting Civil Engineering
 Bridge Design
 Highway Design
 Construction Inspection
 Geotechnical Engineering
 Water / Wastewater
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LANDSCAPING PLAN
 PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
 SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY



LEGEND

EXISTING	PROPOSED

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Adjacent Properties	+	0.0	0.3	0.0	N/A	N/A
Princeton Ave. Slope	+	0.5	0.7	0.3	2.3:1	1.7:1
Pine Street Slope	+	1.3	1.8	0.8	2.3:1	1.6:1
Parking Main Lot	+	1.5	5.3	0.5	10:6:1	3:0:1
Pine Street	+	0.0	0.5	0.0	N/A	N/A
Princeton Avenue	+	0.0	0.0	0.0	N/A	N/A
Setback	+	1.3	5.8	0.0	N/A	N/A
Sidewalks	+	0.1	1.3	0.0	N/A	N/A

Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distrib. Type
	A		1	American Electric Lighting	ATBMC P104 R4 3K SINGLE 10 FT POLE HEIGHT	Autobahn Micro P104 Package Roadway Type IV 3000K		1	ATBMC_P104_R4_3K.ies	4278	1	0.85	37	100%	TYPE IV, MEDIUM, BUG RATING: B1 - UO - G1
	B		1	American Electric Lighting	ATBMC P104 R3 3K SINGLE 10 FT POLE HEIGHT	Autobahn Micro P104 Package Roadway Type III 3000K		1	ATBMC_P104_R3_3K.ies	4493	1	0.85	37	100%	TYPE III, SHORT, BUG RATING: B1 - UO - G1
	C		1	Halophane	HLWPC2 P10 30K XX ITM WALL MOUNT SINGLE 13 FT WALL MOUNT HEIGHT	Wallpack Full Cutoff LED, LED Performance Package P10, 3000 series CCT, Voltage, Forward Throw Medium		1	HLWPC2_P10_30K_XX_ITM_WALL_MOUNT_SINGLE_13_FT_WALL_MOUNT_HEIGHT.ies	2979	1	0.85	25	100%	TYPE IV, SHORT, BUG RATING: B1 - UO - G1

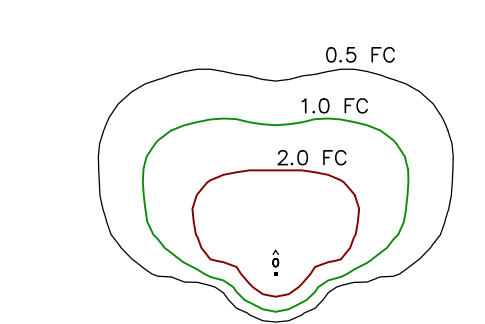
REFERENCE PLANS:
 1. RIGHT OF WAY AND PROPERTY LINES TAKEN FROM FILED MAPS, DEEDS AND TAX MAPS AND COMBINED WITH R.O.W. & PROPERTY CORNER MARKER FOUND WHEN FIELD SURVEY WAS PERFORMED.

REFERENCE DATUM:
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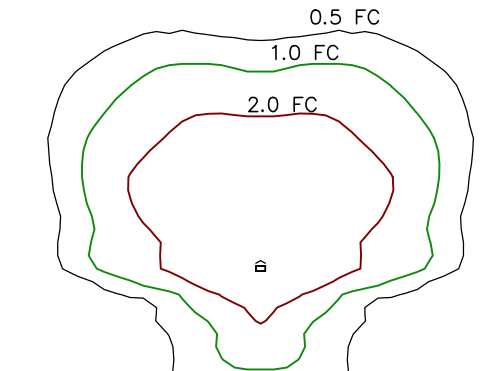
LAWRENCE TOWNSHIP TAX MAP INFORMATION
 BLOCK ----- 103
 LOTS ----- 66, 67 & 68
 SHEET ----- 1

RECORD DEED INFORMATION
 BLOCK-103, LOTS 66, 67 & 68
 DEED BOOK ----- 6312
 PAGE ----- 1679

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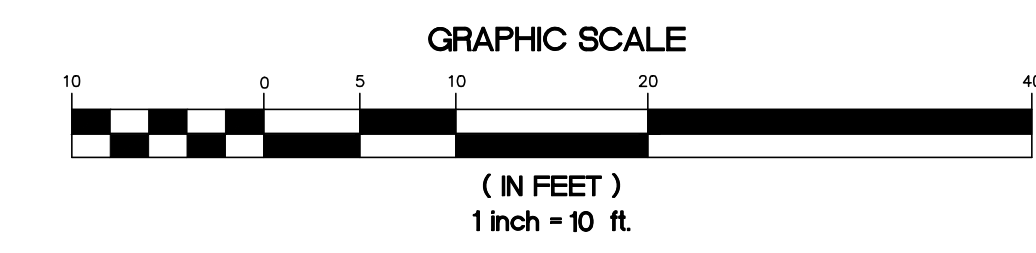


- A AND B**
- AEL AMERICAN ELECTRIC
 - AUTOBAHN MICRO
 - 37 W LED
 - 3000K CCT
 - TYPE IV OPTICS
 - 0 UPLIGHT
 - REAR SHIELD
 - SINGLE
 - 10 FOOT WALL MOUNT



- C**
- HALOPHANE LIGHTING
 - WALLPACK FFD WALL MOUNT
 - 25 W LED
 - 3000K CCT
 - FORWARD THROW FLAT OPTICS
 - 0 UPLIGHT
 - SINGLE
 - 10 FOOT WALL MOUNT

LIGHTING PLAN
 SCALE : 1"=10'



DATE:	JULY 1, 2020
SCALE:	1"=10'
DESIGNED BY:	J.A.B.
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
REVISIONS	AUTH. DATE JOB NO. 1804LA
BY:	DATE: 5/24/21
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800	

Van Cleef ENGINEERING ASSOCIATES

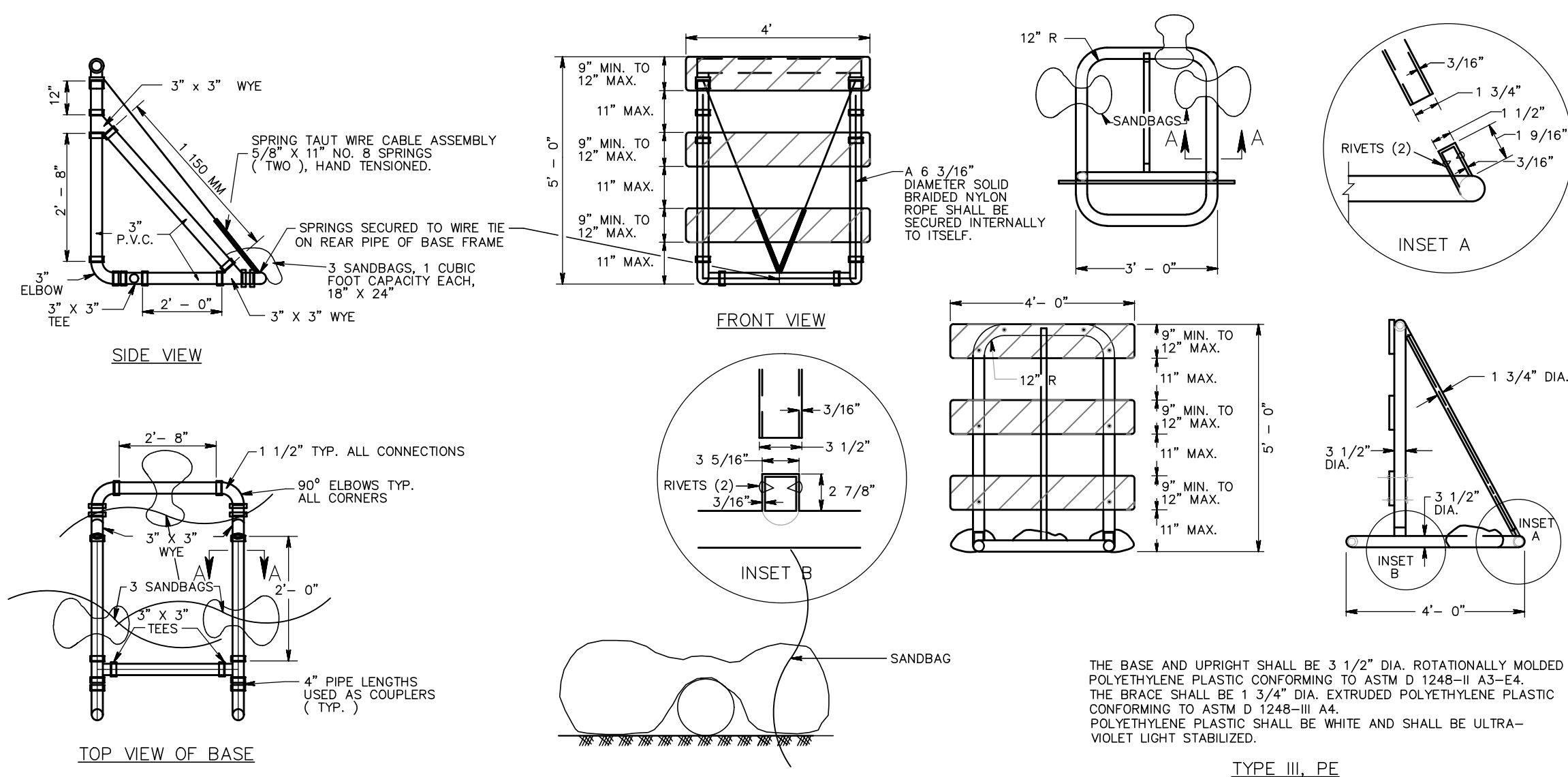
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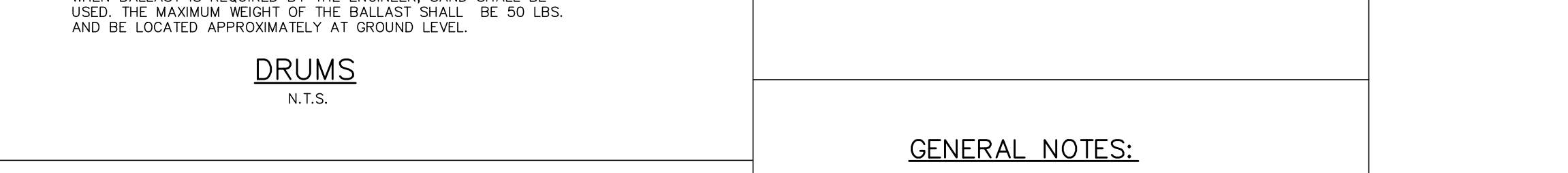
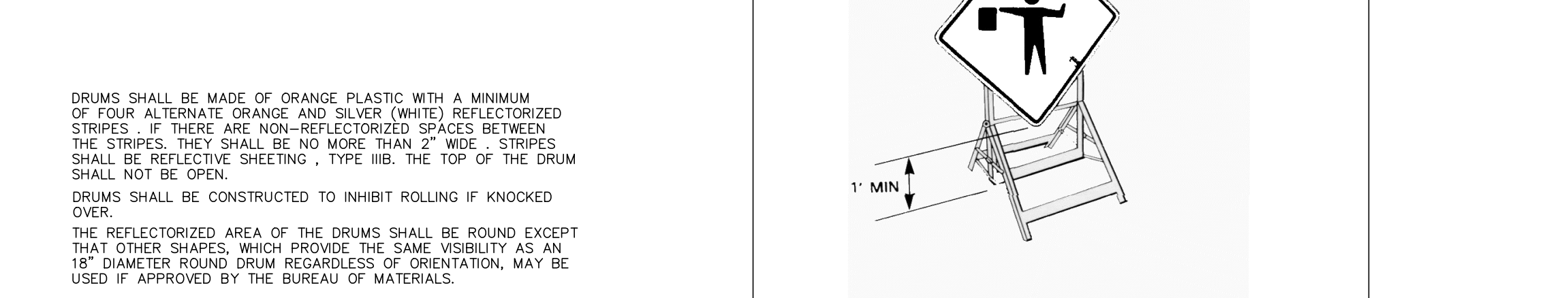
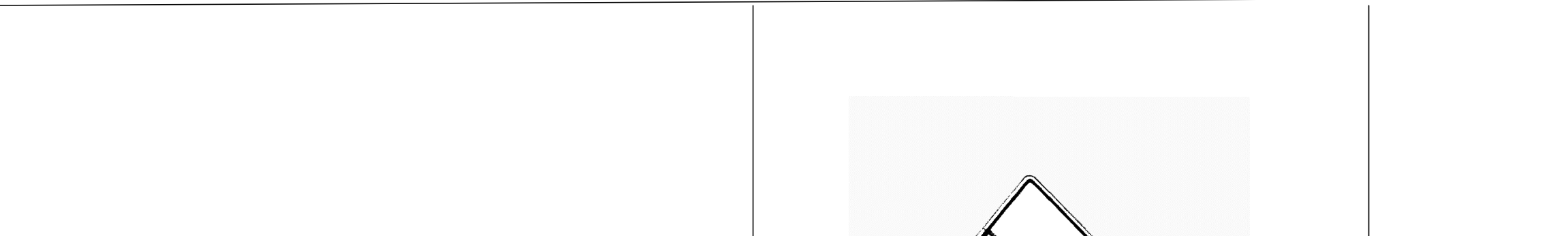
LIGHTING PLAN
 PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
 SITUATE IN
 LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

7/11

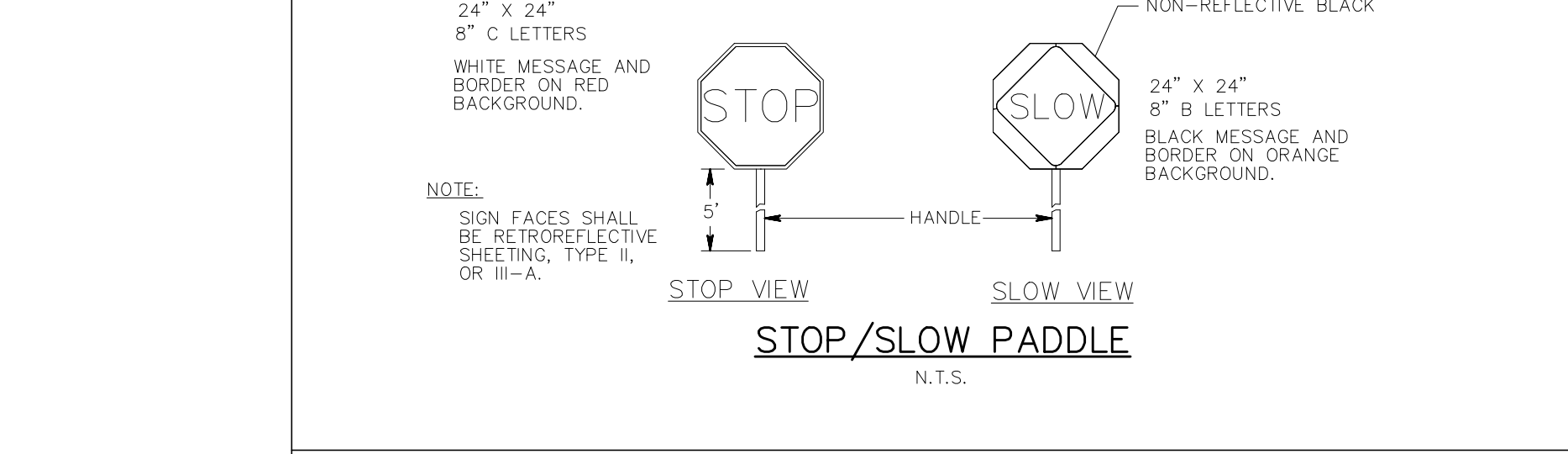
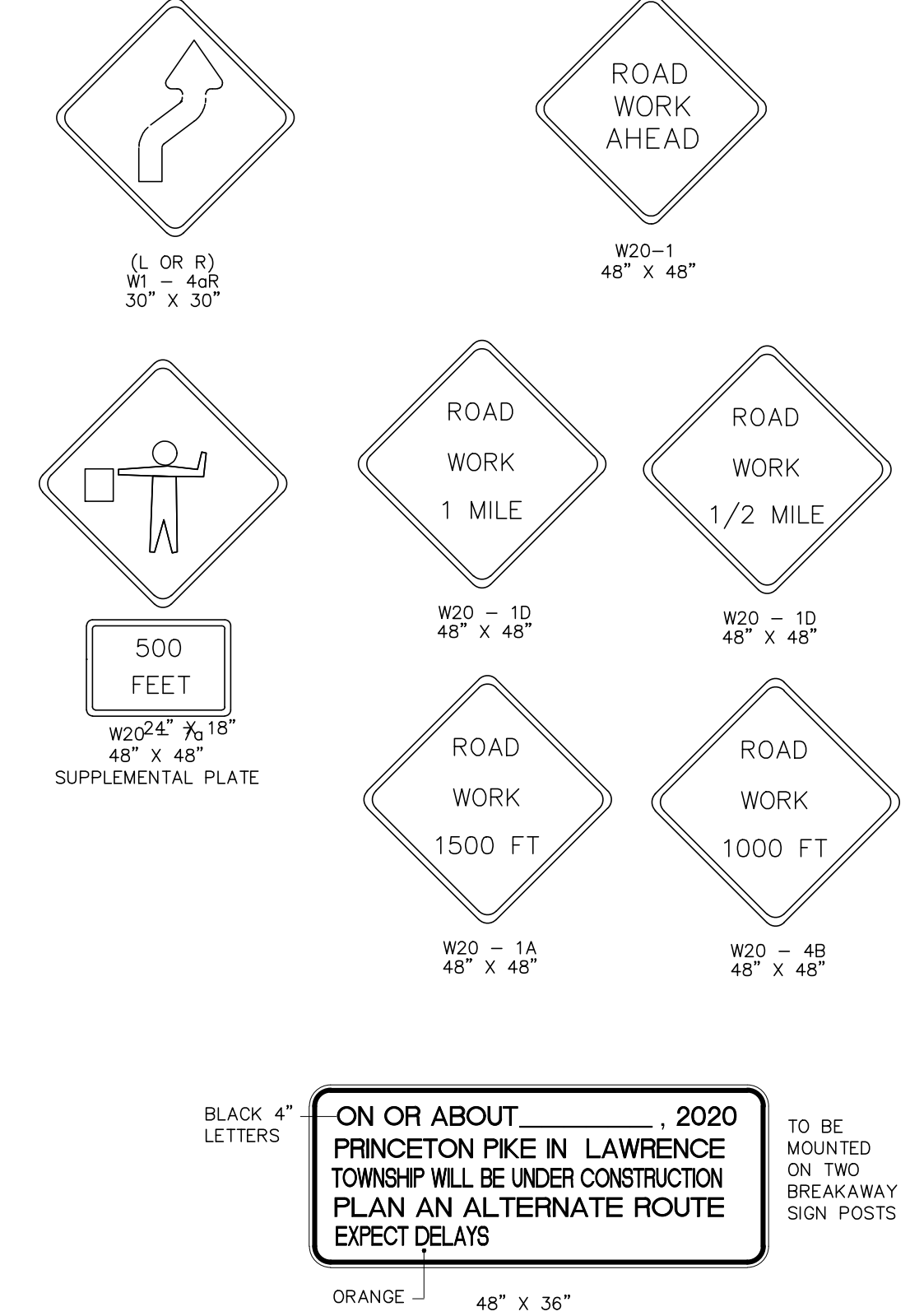
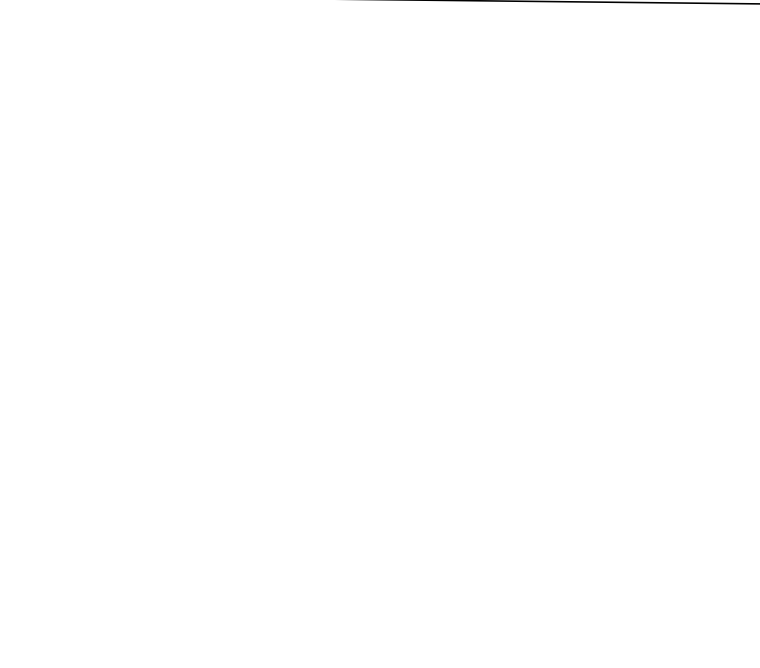
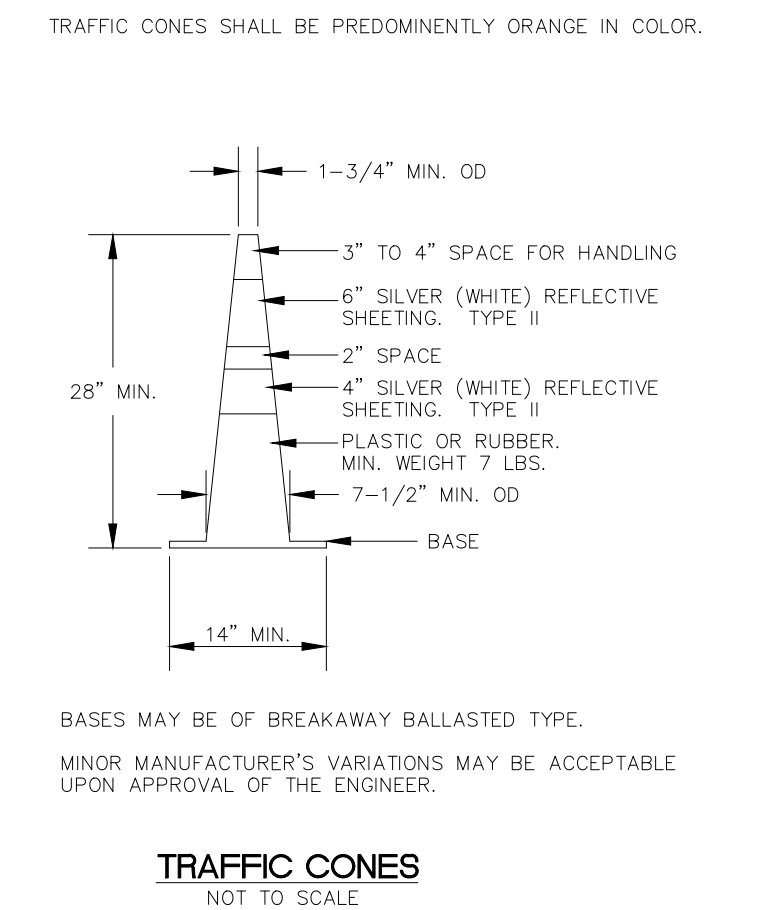


NOTES:

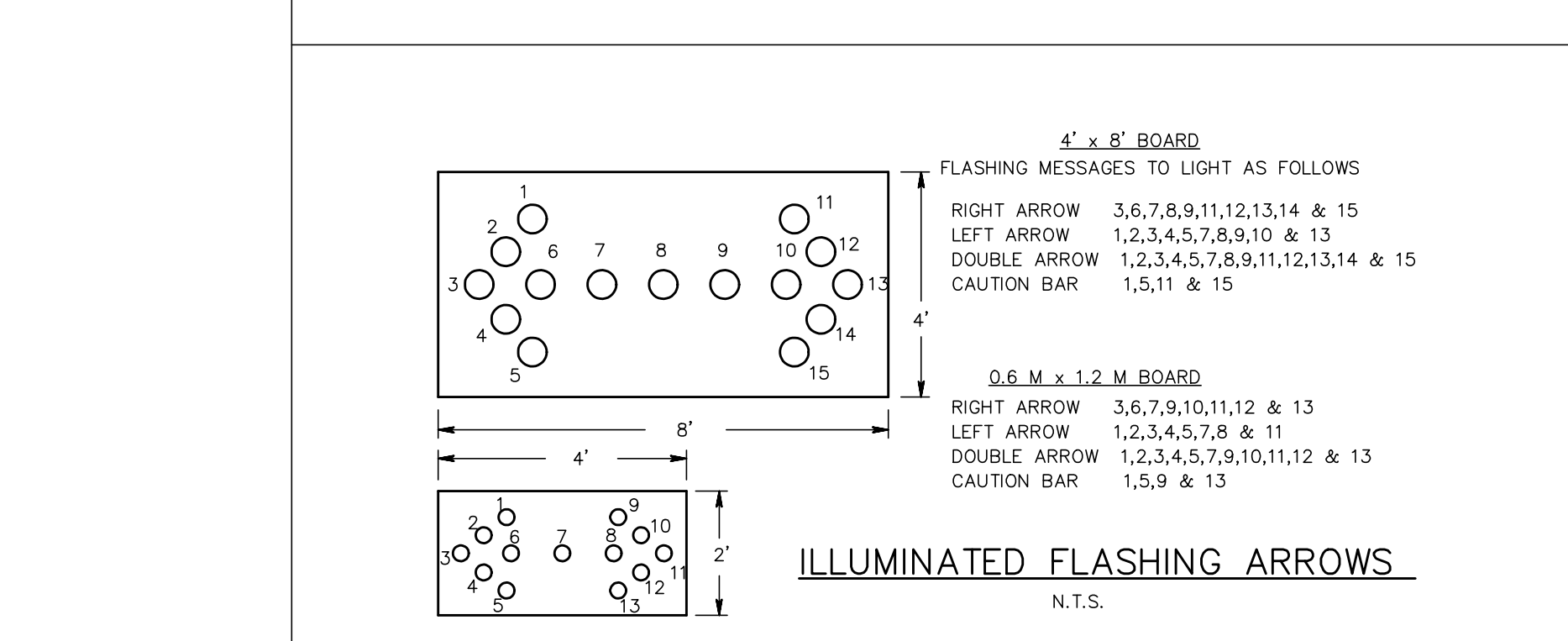
- THE 8" x 48", OR 9" MAX. x 48" BARRICADE RAILS SHALL BE FABRICATED FROM 0.024" ANODIZED ALUMINUM OR 0.125" MAX. PLASTIC SHEETING AND SHALL BE ATTACHED, 4 PER RAIL, WITH 1" NO.14 PAN HEAD METAL SCREWS OR PLASTIC RIVETS. ALL CORNERS SHALL BE ROUNDED.
- ORANGE AND SILVER (WHITE) STRIPES SHALL BE RETROREFLECTIVE SHEETING, TYPE II OR III-A, AS SHOWN FOR CONSTRUCTION SIGNS. ALTERNATE RANGE AND SILVER (WHITE) STRIPES 6" WIDE SLOPING DOWNWARD AT AN ANGLE OF 45 DEGREES IN THE DIRECTION TRAFFIC IS TO PASS.
- THE 18" x 24" SANDBAGS SHALL BE FABRICATED FROM POLYPROPYLENE AND SHALL HAVE A CAPACITY OF 1 CUBIC FOOT. PLACEMENT OF SANDBAGS SHALL BE AS SHOWN ABOVE.
- SANDBAG PLACEMENT MAY BE ADJUSTED AT THE DIRECTION OF THE ENGINEER. ALL DIMENSIONS ON FULL PIPE LENGTH.
- EITHER TYPE III, PE OR TYPE III, PVC CAN BE USED AT THE OPTION OF THE CONTRACTOR.



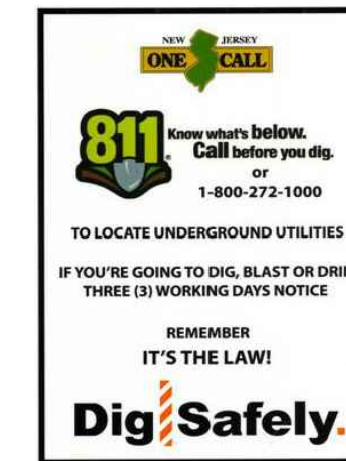
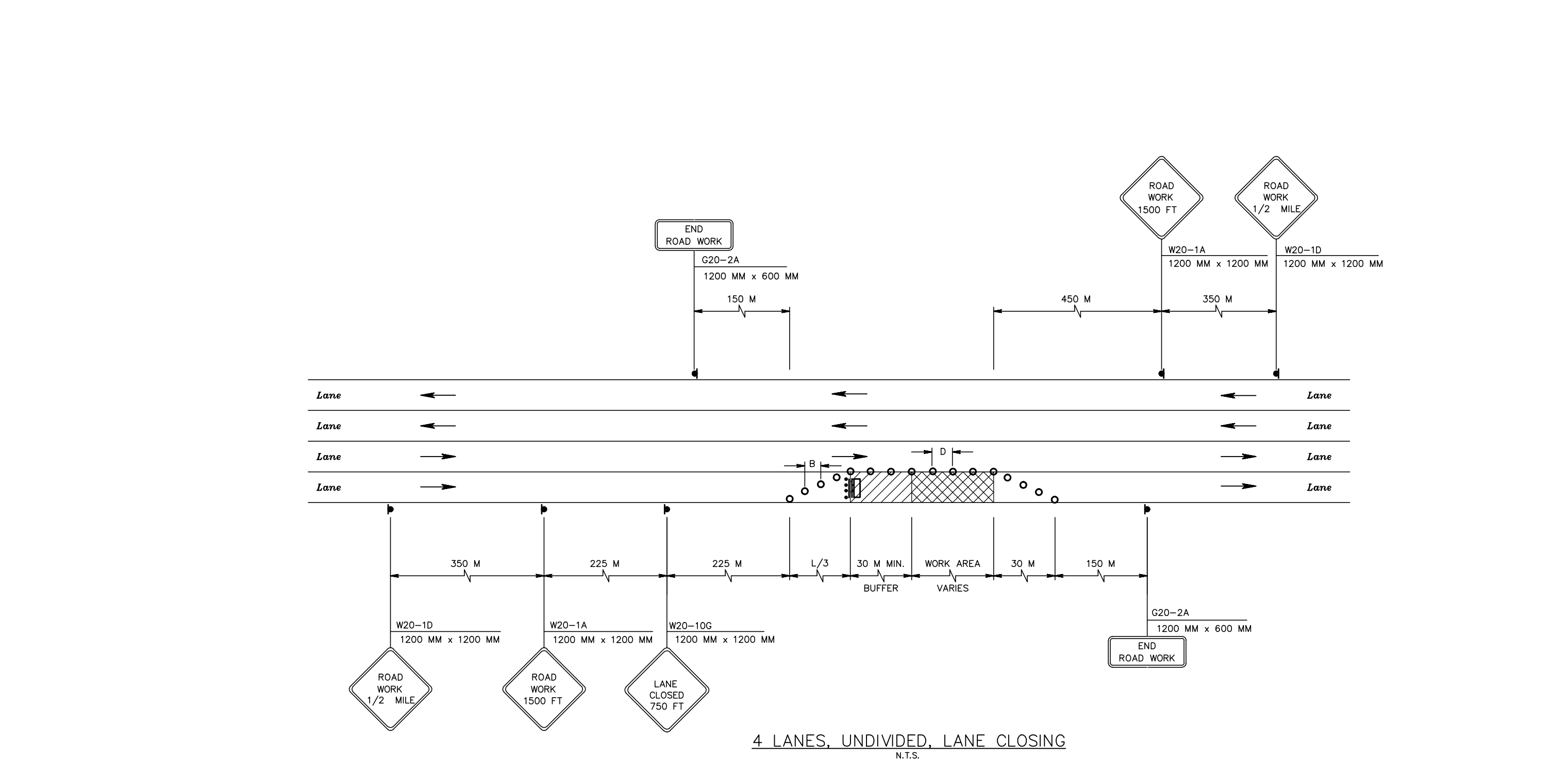
- GENERAL NOTES:**
- ADVANCE WARNING SIGNS AND TAPERS SHOULD BE EXTENDED AS SIGHT DISTANCES REQUIRE. TO ADJUST FOR REDUCED VISIBILITY DUE TO THE HORIZONTAL AND VERTICAL CURVATURE OF THE ROADWAY, TAPERS MAY ALSO BE EXTENDED FOR PREVAILING SPEEDS.
 - CONSTRUCTION SIGNS WB-9A AND WB-14A SHALL BE USED WHEN SUCH PAVEMENT CONDITIONS EXIST. THE PLACEMENT OF THESE SIGNS SHALL BE AS DIRECTED BY THE ENGINEER.
 - CONSTRUCTION SIGNS R11-4 SHALL BE PLACED AT THE INTERSECTING STREETS WHICH ARE CLOSED TO TRAFFIC BECAUSE OF CONSTRUCTION.
 - A W1-6 SIGN MOUNTED ON A BREAKAWAY BARRICADE AND CENTERED ON THE CLOSED WIDTH SHALL BE LOCATED 90 FEET BEYOND EACH INTERSECTION OR MAIN ACCESS POINT WITHIN THE AREA OF A LANE OR SHOULDER CLOSURE.
 - CONES MAY BE SUBSTITUTED FOR DRUMS UPON APPROVAL OF THE ENGINEER.
 - ALL CONFLICTING STRIPES SHALL BE REMOVED.
 - REMOVABLE PAVEMENT MARKING TAPE OR OTHER MEANS OF TRAFFIC CONTROL SHALL BE UTILIZED WHERE LANE SHIFTS ARE REQUIRED ON INTERMEDIATE OR TOP PAVEMENT LAYERS OR ON EXISTING PAVEMENTS NOT BEING REPAVED.
 - UNLESS OTHERWISE SPECIFIED, TRAFFIC PAINT SHALL BE USED WHEN TRAFFIC STRIPES OR TRAFFIC MARKINGS ARE REQUIRED ON INTERMEDIATE PAVEMENT LAYERS THAT NEED TO BE OPENED TO TRAFFIC DUE TO STAGE CONSTRUCTION.
 - THIS PLAN NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).



REGULATORY APPROACH SPEED OF TRAFFIC IN KM/HR (MILES/HOUR)	RECOMMENDED TAPER LENGTH AND SPACING FOR CHANNELIZING TAPERS				RECOMMENDED SPACING ALONG TANGENTS	
	MINIMUM TAPER RATIO IN LENGTH PER FOOT OF WIDTH	MINIMUM TAPER LENGTH L-FOR LANE WIDTHS			MAXIMUM DEVICE (B) SPACING ALONG TAPERS IN FEET	MAXIMUM DEVICE (D) SPACING ALONG TANGENTS IN FEET
25	10.5:1	105	115	125	25	50
30	15.0:1	150	165	180	30	60
35	20.5:1	205	225	245	35	70
40	27.0:1	270	295	320	40	80
45	45:1	450	495	540	45	90
50	50:1	500	550	600	50	100
55	55:1	550	605	660	55	110



- LEGEND**
- BREAKAWAY BARRICADES
 - BREAKAWAY BARRICADES WITH SIGN
 - CONSTRUCTION SIGNS
 - DRUMS
 - CONE
 - PRECAST CONCRETE CURB CONSTRUCTION BARRIER (TYPE SPECIFIED)
 - DIRECTION OF TRAFFIC FLOW
 - FLAGGER
 - ILLUMINATED FLASHING ARROW MOUNTED ON TOWING VEHICLE SHOWING BAR PATTERN
 - BUFFER ZONE
 - WORK AREA
 - TMA - TRAFFIC MOUNTED ATTENUATOR W/ ARROW BOARD



DATE:	JULY 1, 2020
SCALE:	N.T.S.
DESIGNED BY:	J.A.B.
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
REVISIONS	AUTH. DATE JOB NO. 1804LA

BY: **JAMES A. BASH** N.J. PROFESSIONAL ENGINEER No. 24GE05225800 DATE: 5/24/21

Van Cleef ENGINEERING ASSOCIATES

SOUTH CENTRAL NEW JERSEY OFFICE
4 AAA DRIVE, SUITE 103, HAMILTON, NJ 08601
EMAIL: CONTACT@VANCLEEFENGINEERING.COM
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (609) 689-1100 FAX: (609) 689-1120

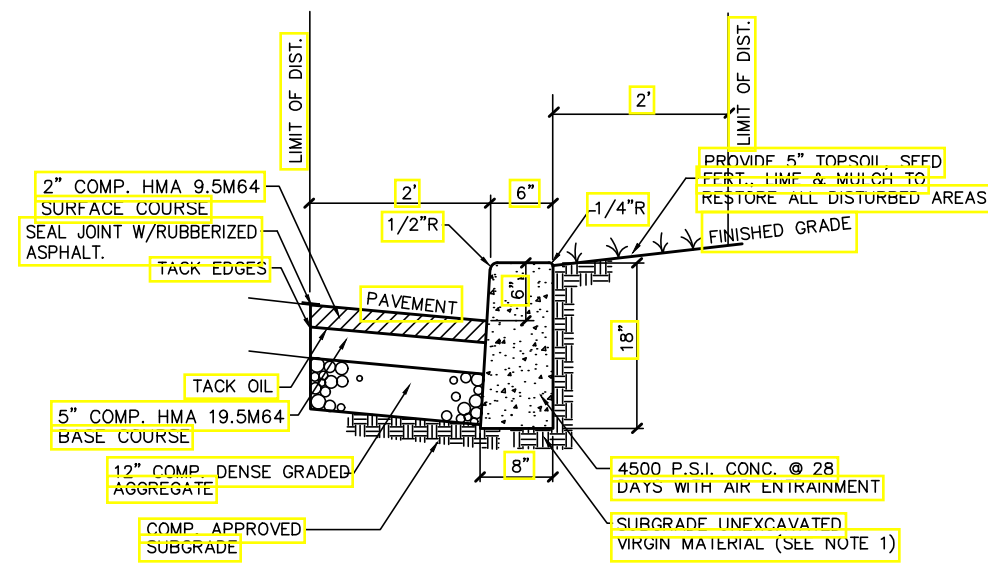
With Offices in New Jersey, Pennsylvania & Delaware

Consulting Civil Engineering
Bridge Design
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Municipal Engineering
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Professional Planning
Landscape Architecture
NJ LLC CERT. No. 24G028132300

TRAFFIC CONTROL PLAN

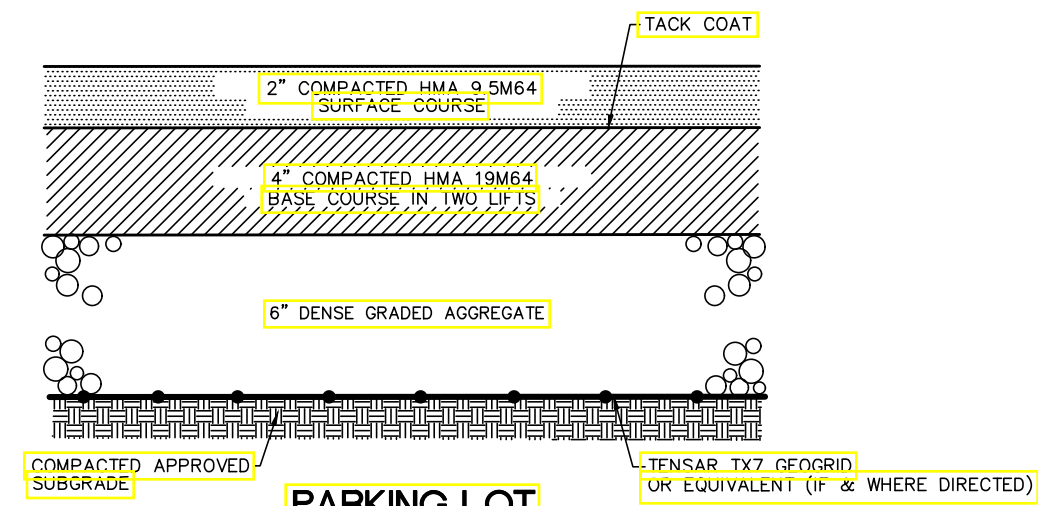
PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

8/1

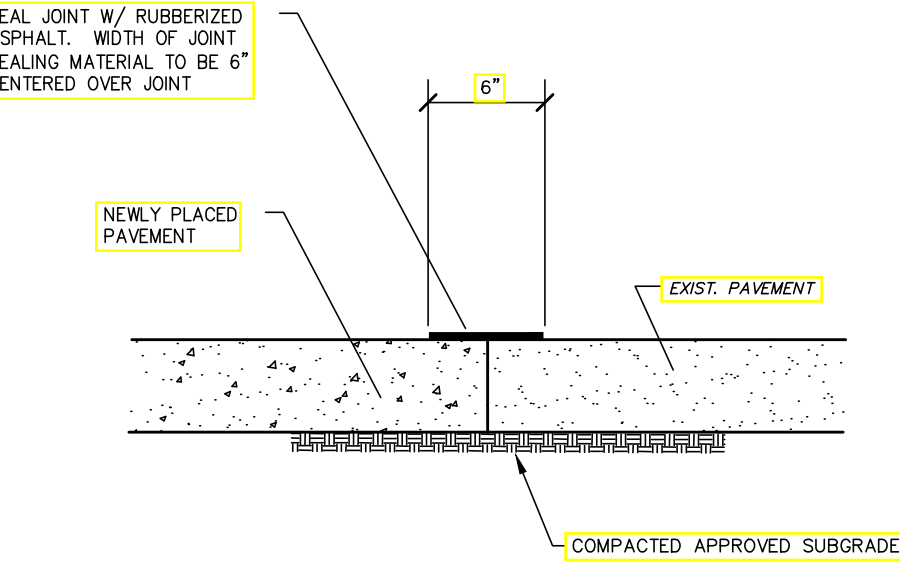


- NOTES:**
- 1.) ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4\"/>
 - 2.) EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL INTERVALS OF NOT MORE THAN 20' AND AT ALL STORM SEWER MANHOLE JOINTS SHALL BE FILLED WITH PREMOULDED EXPANSION JOINT FILLER, 1/2\"/>
 - 3.) CURB SHALL BE TEMPORARILY BACKFILLED TO FINISHED GRADE WITH SOLID BEHIND AND STONE ON THE ROAD SIDE AS SOON AS IT HAS ATTAINED SUFFICIENT STRENGTH OR WITHIN 24 HOURS OF POURING (WHICH EVER IS LESS).
 - 4.) WHEN NEW CURB IS INSTALLED ALONG AN EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT 2 FEET IN FRONT OF THE NEW CURB FACE IN A STRAIGHT LINE WITH A CUTTING WHEEL OR PNEUMATIC HAMMER. THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO THE EXISTING PAVEMENT. THE COST OF THIS PAVING IS TO BE INCLUDED IN THE UNIT PRICE BID FOR CONCRETE CURB REPLACEMENT.
 - 5.) ALL EXPOSED CONC. SURFACES TO BE TREATED WITH LUMISEAL PLUS CURE AND SEAL COMPOUND OR EQUIVALENT PER MANUFACTURER'S INSTRUCTIONS.

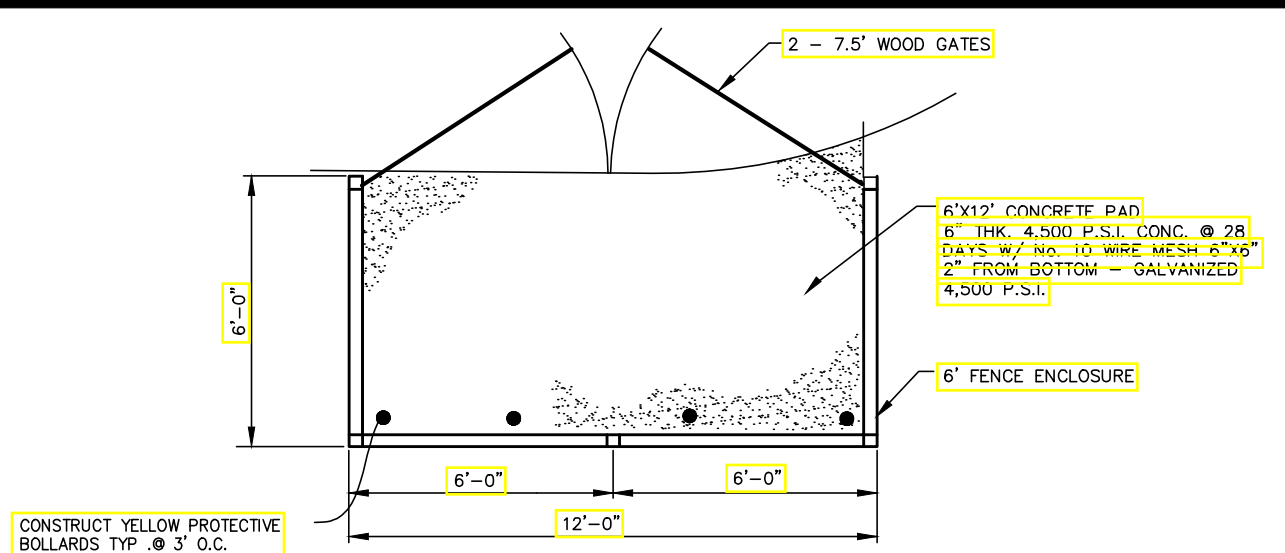
6'x8'x16' CONCRETE CURB REPLACEMENT
NOT TO SCALE



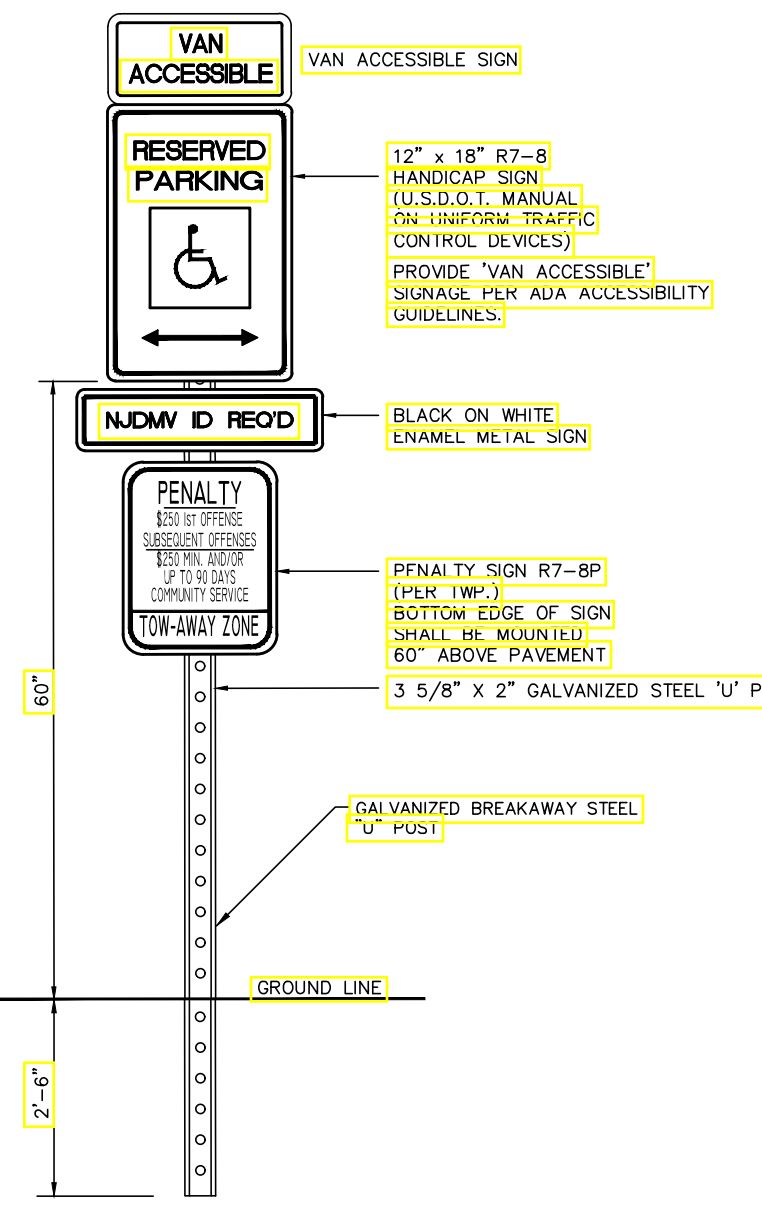
PARKING LOT PAVEMENT CROSS-SECTION
NOT TO SCALE



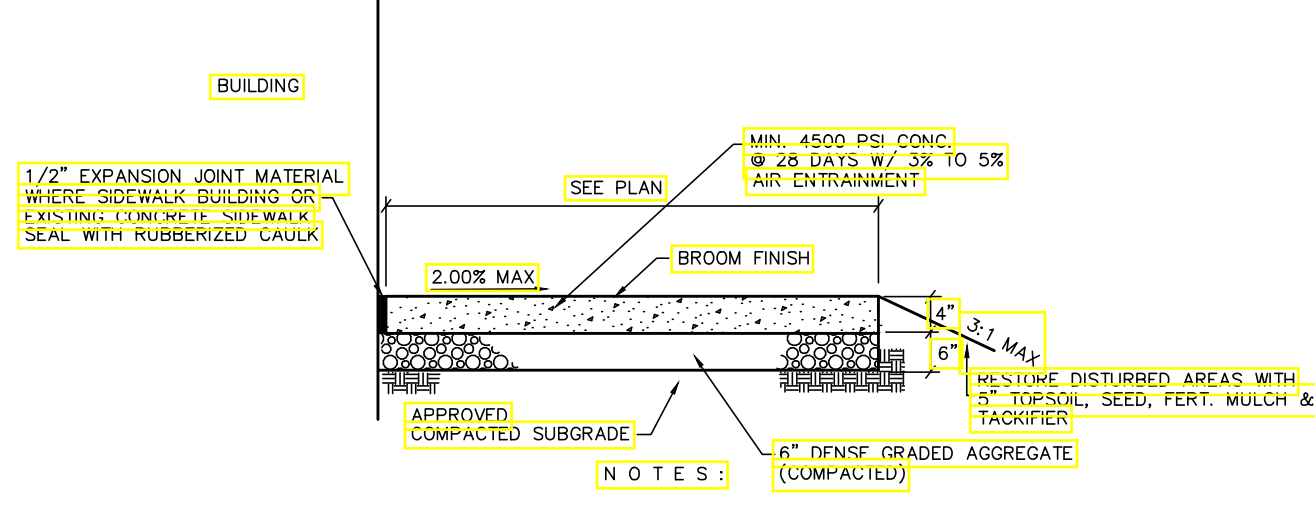
PAVEMENT JOINT SEALING
NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL
N.T.S.

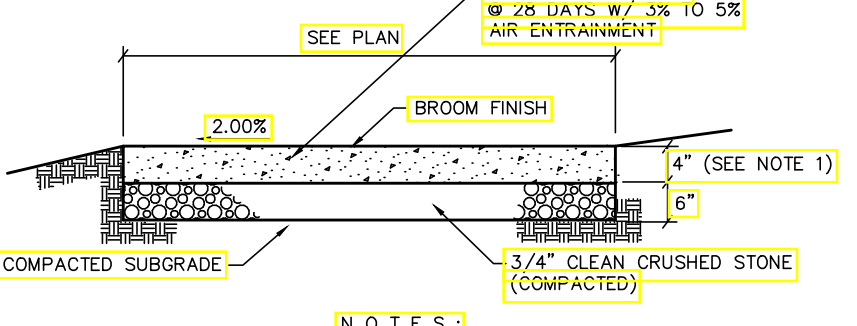


HANDICAPPED PARKING SIGN
NOT TO SCALE



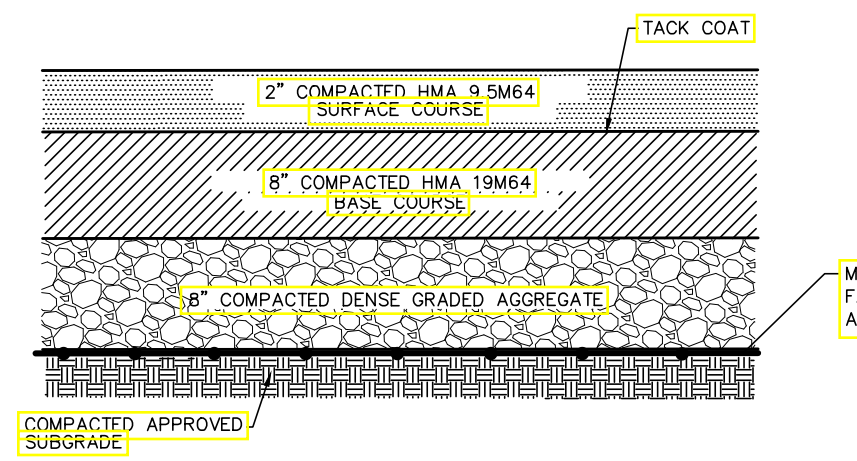
- NOTES:**
- 1.) THE ENGINEER SHALL APPROVE ALL SUBGRADES PRIOR TO THE POURING OF ANY CONCRETE.
 - 2.) EXPANSION JOINTS SHALL BE PROVIDED AT 20' (MAX.) INTERVALS. JOINTS SHALL BE FILLED WITH 1/2\"/>
 - 3.) ALL SIDEWALK THAT IS BROKEN, CRACKED OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO ACCEPTANCE.
 - 4.) PROVIDE HALF DEPTH CONTRACTION JOINTS EVERY 4 FEET.
 - 5.) ALL EXPOSED CONC. SURFACES TO BE TREATED WITH LUMISEAL PLUS CURE AND SEAL COMPOUND OR EQUIVALENT PER MANUFACTURER'S INSTRUCTIONS.
 - 6.) THE RUNNING SLOPE OF THE SIDEWALK SHALL BE LESS THAN 5.0%.

CONCRETE SIDEWALK ADJACENT TO BUILDING DETAIL
NO SCALE

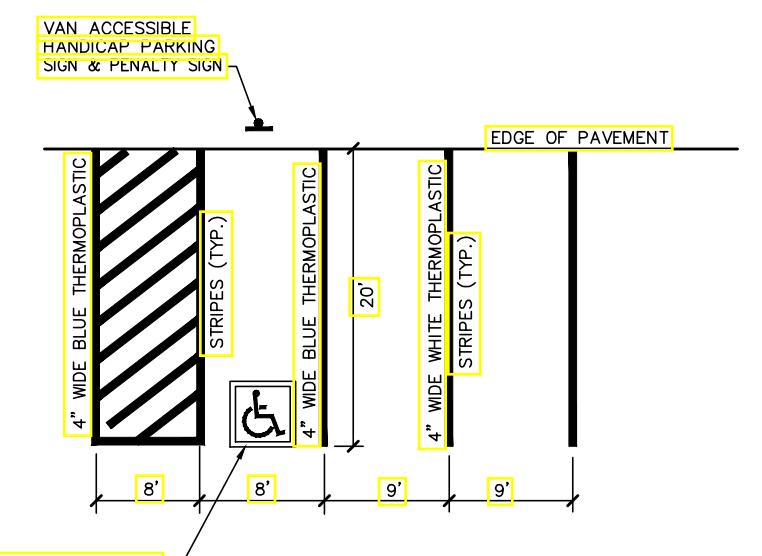


- NOTES:**
- 1.) AT DRIVEWAY CROSSINGS, SIDEWALK SHALL BE 6\"/>
 - 2.) THE TOWNSHIP ENGINEER SHALL APPROVE ALL SUBGRADES PRIOR TO THE POURING OF ANY CONCRETE.
 - 3.) EXPANSION JOINTS SHALL BE PROVIDED AT 20' (MAX.) INTERVALS. JOINTS SHALL BE FILLED WITH 1/2\"/>
 - 4.) ALL SIDEWALK THAT IS BROKEN, CRACKED OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO ACCEPTANCE.
 - 5.) PROVIDE HALF DEPTH CONTRACTION JOINTS EVERY 4 FEET.
 - 6.) ALL EXPOSED CONC. SURFACES TO BE TREATED WITH LUMISEAL PLUS CURE AND SEAL COMPOUND OR EQUIVALENT PER MANUFACTURER'S INSTRUCTIONS.

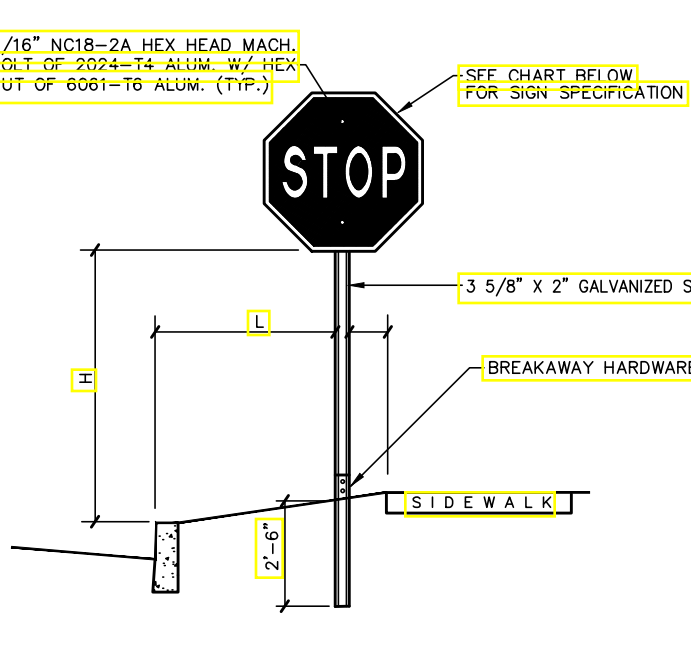
CONCRETE SIDEWALK
NO SCALE



COUNTY PAVEMENT CROSS-SECTION
NOT TO SCALE



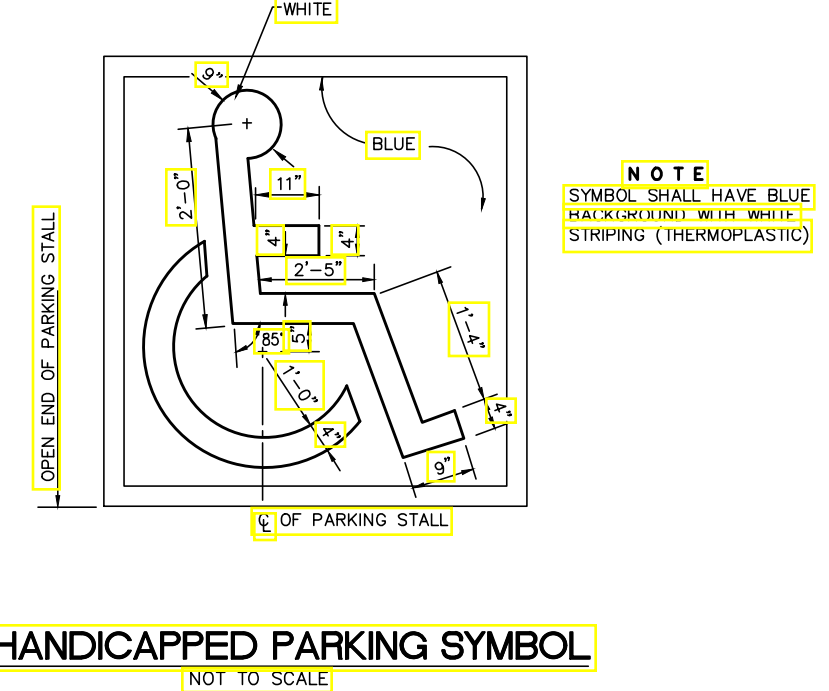
ADA UNIVERSAL PARKING SPACE DESIGN DETAIL
NOT TO SCALE



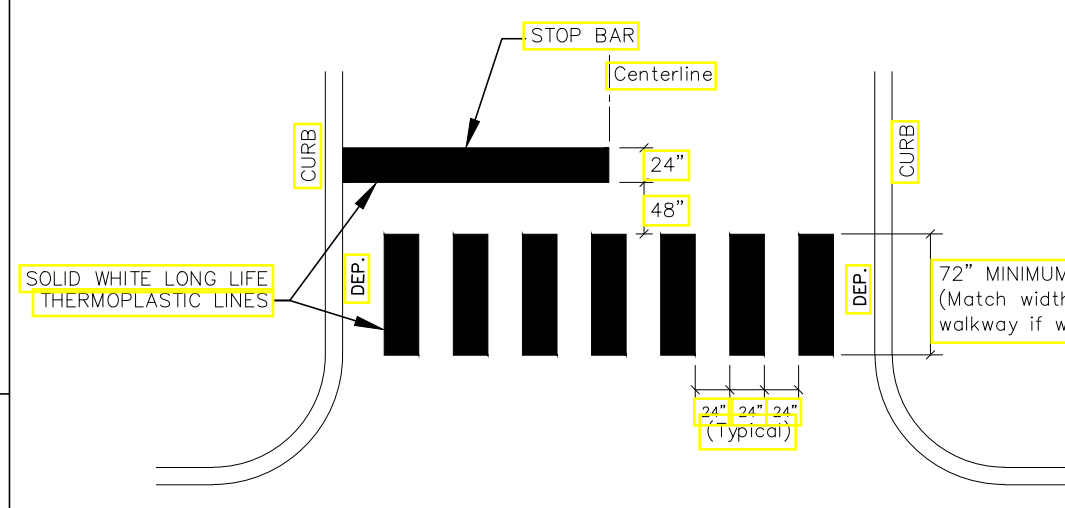
- NOTES:**
- 1.) ALL SIGN INSTALLATION SHALL CONFORM TO N.J.A.C. 17:27 SIGNIFICATIONS.
 - 2.) A RESIDENT ERROR 5/16\"/>
 - 3.) ALL SIGNS AND MARKING SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - 4.) SEE THE CHART BELOW FOR SPECIFICATIONS.

M.U.T.C.D. SIGN DESIGNATION		DESCRIPTION	SIZE
H	1	STOP	30\"/>
L	1	CURB, NO SIDEWALK	18\"/>
L	2	CURB AND SIDEWALK	18\"/>

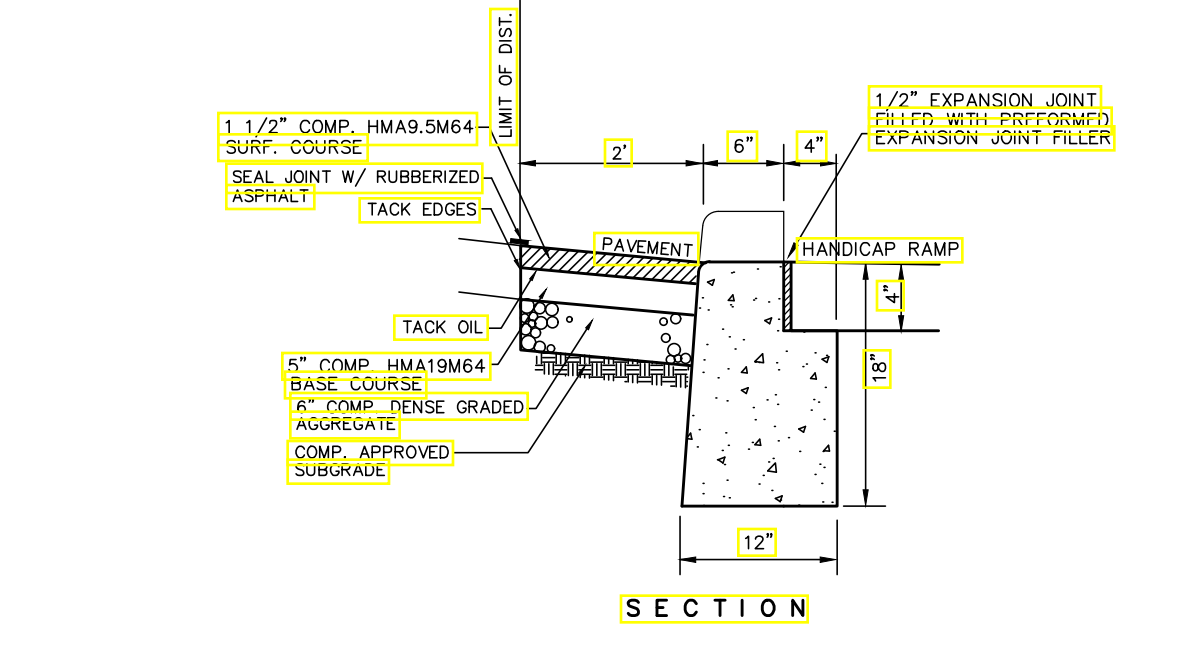
WARNING AND/OR REGULATORY SIGN DETAIL
N.T.S.



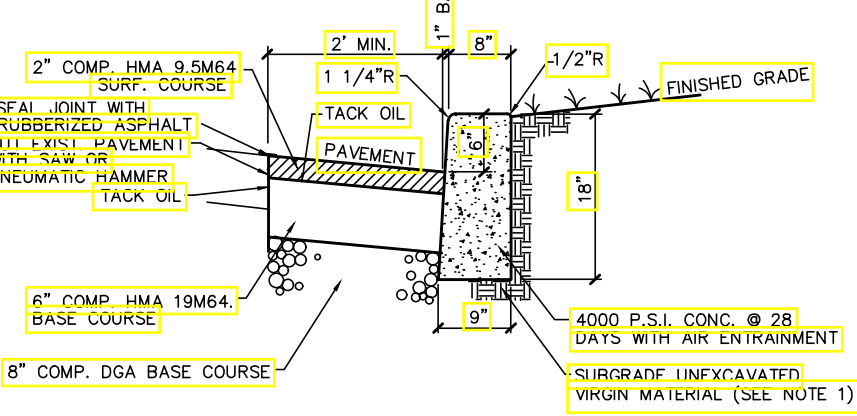
HANDICAPPED PARKING SYMBOL
NOT TO SCALE



CROSSWALK STRIPING DETAIL
N.T.S.



DEPRESSED CURB AT HANDICAP RAMP
NO SCALE



- NOTES:**
- 1.) ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4\"/>
 - 2.) EXPANSION JOINTS OF CELLULAR COMPRESSED MATERIAL TO BE PLACED AT 20' INTERVALS AND 1/4\"/>
 - 3.) CURB SHALL BE TEMPORARILY BACKFILLED TO FINISHED GRADE WITH SOLID BEHIND AND STONE ON THE ROAD SIDE AS SOON AS IT HAS ATTAINED SUFFICIENT STRENGTH OR WITHIN 24 HOURS OF POURING (WHICH EVER IS LESS).
 - 4.) WHEN NEW CURB IS INSTALLED ALONG AN EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT 2 FEET IN FRONT OF THE NEW CURB FACE IN A STRAIGHT LINE AT A 45 DEGREE ANGLE WITH A CUTTING WHEEL OR PNEUMATIC HAMMER. THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO THE EXISTING PAVEMENT, IN ACCORDANCE WITH PAVEMENT REPAIRING DETAIL.
 - 5.) FACE FORMING MAY BE USED IF CONTRACTOR CAN DEMONSTRATE TO ENGINEER THAT UNDERMINING OF PAVEMENT WILL NOT OCCUR AND FURTHER SUBJECT TO APPROVAL BY COUNTY ENGINEER. THE EXISTING GRADE, HOWEVER, THE UNIT PRICE BID FOR CURB SHALL INCLUDE 2\"/>

8'x9'x18' MERCER COUNTY CONCRETE CURB
NOT TO SCALE

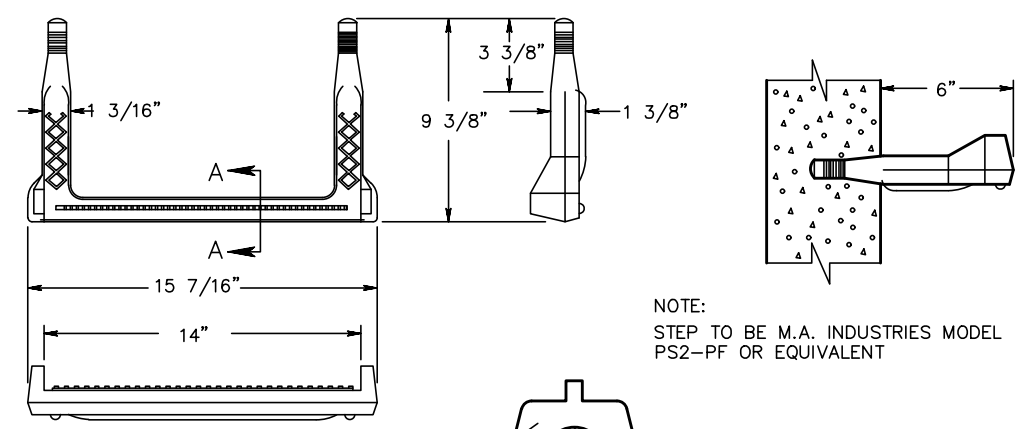
811
Call before you dig.
1-800-272-1000
Dig/Safely.

ONE CALL
NEW JERSEY
LAME ANTES DE EXCAVAR
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Dig/Safely.

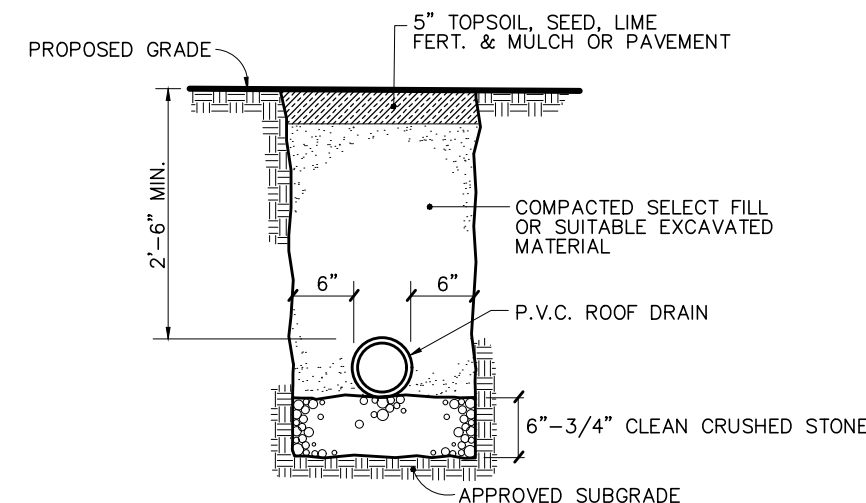
REVISIONS PER TOWNSHIP COMMENTS	JAB	5/24/21	CHECKED BY:	J.A.B.
REVISIONS	AUTH.	DATE	JOB NO.	1804LA

DATE: JULY 1, 2020
SCALE: N.T.S.
DESIGNED BY: J.A.B.
DRAWN BY: R.R.F.
CHECKED BY: J.A.B.
DATE: 5/24/21
BY: **JAMES A. BASH** N.J. PROFESSIONAL ENGINEER No. 24GE05225800

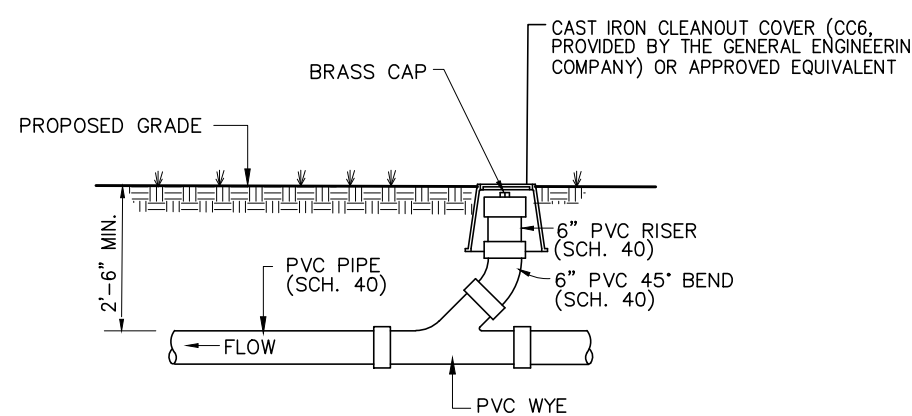
Van Cleef ENGINEERING ASSOCIATES
SOUTH CENTRAL NEW JERSEY OFFICE
4 AAA DRIVE, SUITE 103, HAMILTON, NJ 08601
CONSTRUCTION DETAILS
PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY



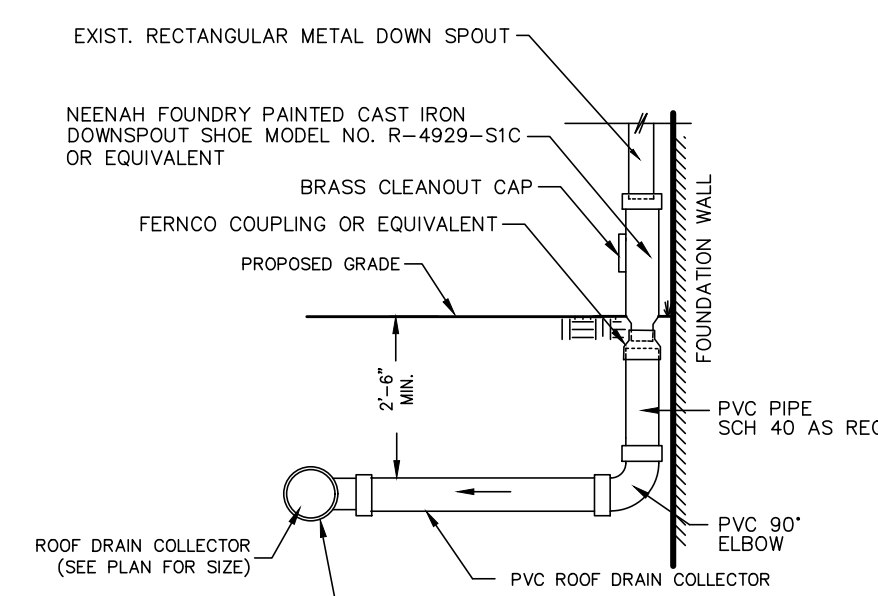
SECTION A-A
LADDER RUNG DETAIL
NOT TO SCALE



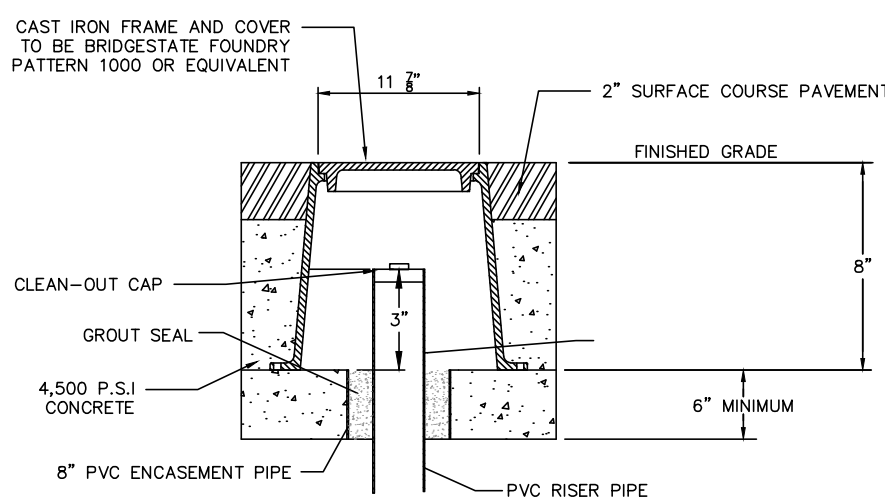
ROOF DRAIN/ ROOF DRAIN COLLECTOR TRENCH DETAIL
NOT TO SCALE



ROOF DRAIN CLEANOUT DETAIL
NOT TO SCALE



ROOF DRAIN CONNECTION W/ CLEANOUT
NOT TO SCALE



CLEANOUT FRAME AND COVER FOR USE ON PAVED AREAS
NOT TO SCALE

FEATURES & SPECIFICATIONS

CONSTRUCTION - Poles shall be fabricated to meet AASHTO 1994 requirements. Welds conform to applicable AWS structural welding code. Pole shaft is one piece, 6063 aluminum alloy, heat treated to a T6 temper. Pole base shall be 356 or A356 aluminum alloy, heat treated to a T6 temper after welding. Hand hole is 2" x 4" minimum, cover and fasteners are included. Nut covers shall be provided as standard. Finish shall match pole. Non-structural fasteners shall be stainless steel.

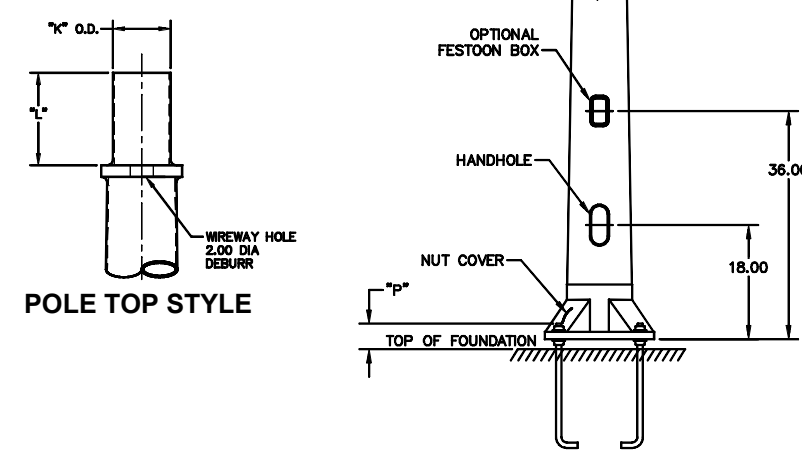
FINISH - Anodize, painted, or satin brush finish. Painted poles shall be semi-gloss powder paint.

GROUNDING - Grounding provision shall be immediately accessible through hand hole, 3/8-16 threads.

ANCHOR BOLTS - Steel anchor bolts shall be per AASHTO M314 or ASTM F 1554 - Grade 55, hot dip galvanize. Nuts and washers shall be per AASHTO M314-90 or ASTM F 1554 - hot dip galvanize.

Catalog Number	Type
Order Number	

RTA
ROUND TAPERED ALUMINUM POLES



POLE ORDERING DATA

How to construct a catalog number for RTA poles:
EXAMPLE RTA2570E P2 ND BZ 1 Fill in Catalog Number 2 3 4 5

STEP	CATALOG DESCRIPTION NUMBER	DESCRIPTION
1. BASE POLE	P1	TENON, 2.38 O.D. (K) X 4' (L)
2. POLE TOP STYLE	P2	TENON, 2.38 O.D. (K) X 4' (L)
	P3	TENON, 3.50 O.D. (K) X 6' (L)
	P4	TENON, 4.00 O.D. (K) X 6' (L)
	P5	TENON, 2.88 O.D. (K) X 4' (L)
	P6	TENON, 2.88 O.D. (K) X 4' (L)
	P7	TENON, 3.00 O.D. (K) X 3' (L)
	P8	PLAIN TOP, NO TENON
3. POLE TOP DRILL PATTERN	ND	NO DRILL PATTERN
	1	FESTOON BOX
	2	BASE COVER
	3	TAMPER RESISTANT SCREENS
4. FINISH	AK	BLACK ANODIZE
	AZ	Bronze Anodize
	BK	BLACK PAINT
	BZ	Bronze Paint
5. OPTIONS	GN	GREEN PAINT
	GR	GRAY PAINT
	SB	SATIN BRUSH
	WH	WHITE PAINT
	1	FESTOON BOX
	2	BASE COVER
3	TAMPER RESISTANT SCREENS	
4	VIBRATION DAMPENERS	

NOTES:
1. The Festoon Box is located on the same side as the hand hole, 36" above pole base. Receptacle / Cover are not included.

HOLOPHANE®
RTA® (H-2076)

HOLOPHANE®
LEADER IN LIGHTING SOLUTIONS
An Acuity Brands Company

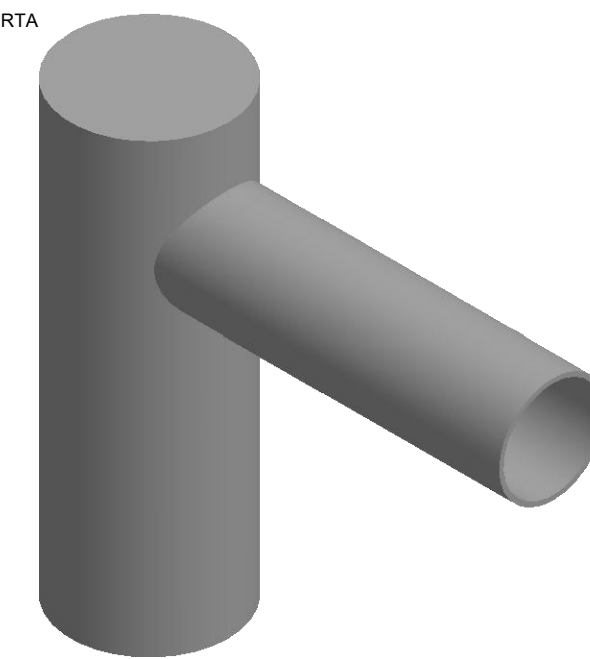
BR1060

Aluminum Arm, 1 Unit, 2.38" OD X 8-1/4" LG, Horizontal Mount For Use With 3.0 OD RTA Pole Top

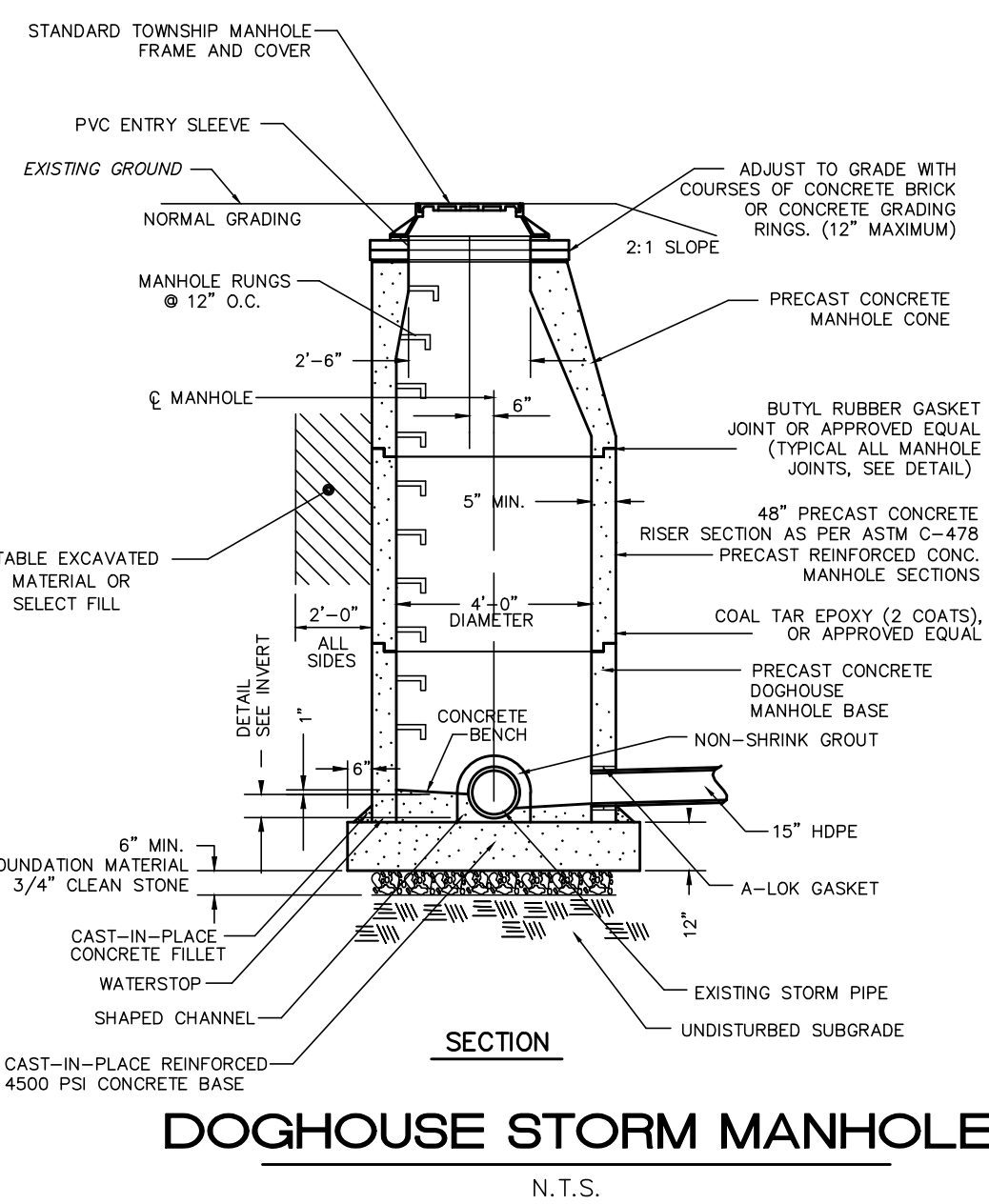
SPECIFICATIONS

Prefix: BR1060 Aluminum Arm 1 Unit
Finish: Gray

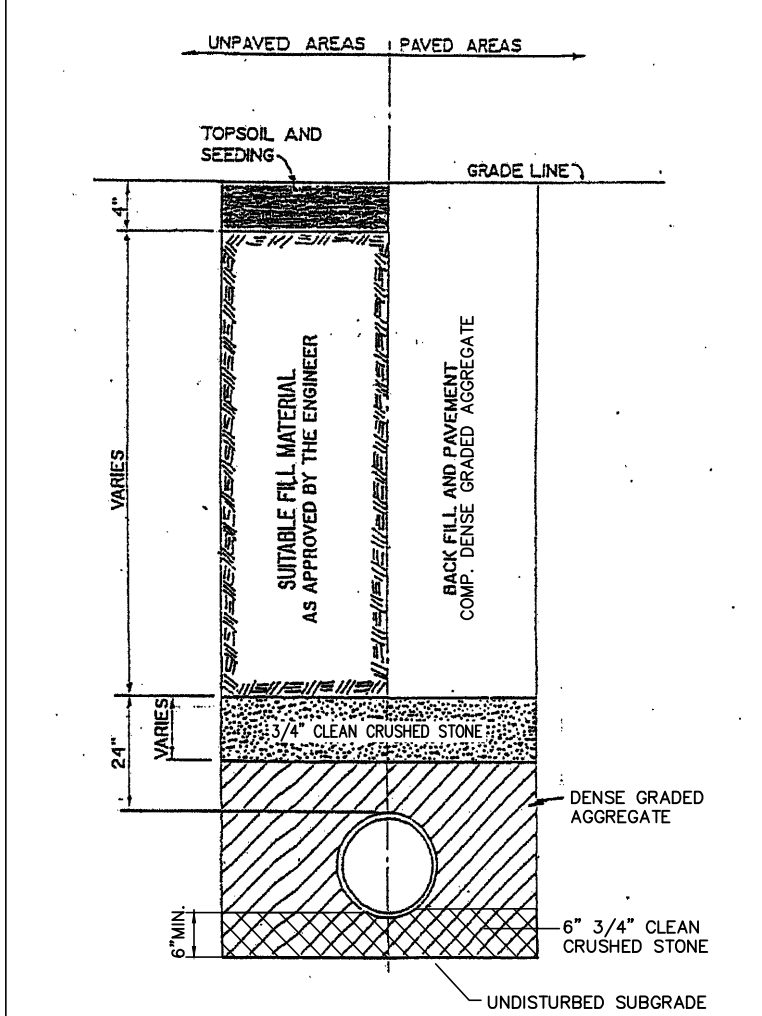
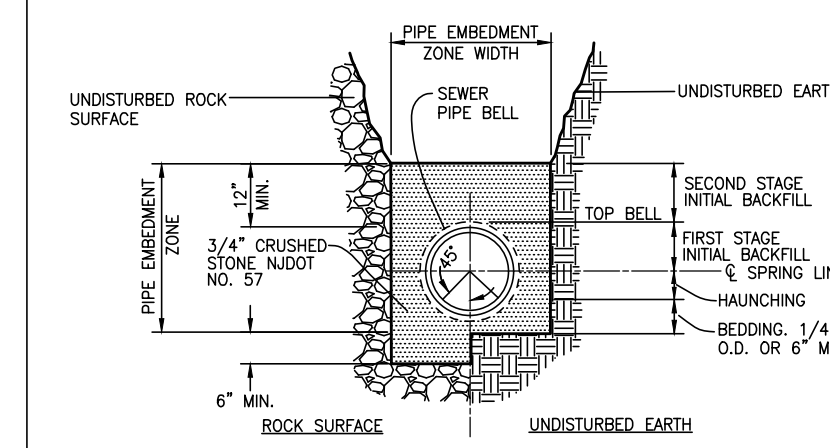
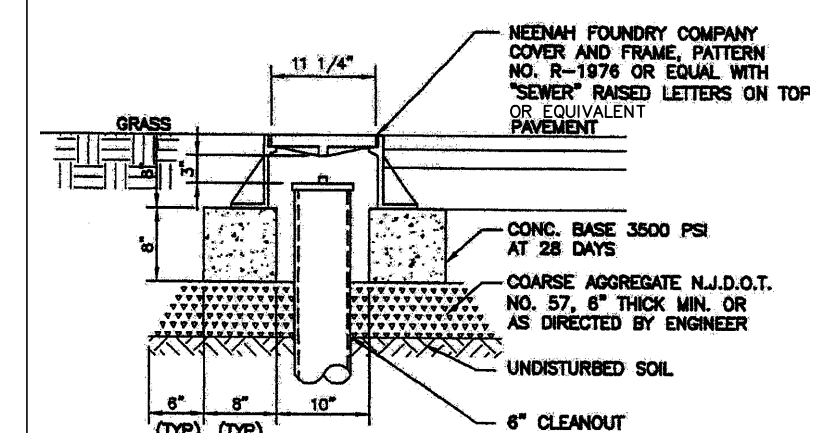
Catalog Number	Type	Notes
BR1060 GR		



Customer Approval:	Job Name: Product Basket	Date: 17-Apr-14
signature _____	Client Name: Beachwood Auto Body Type A Arm	
date _____	Created By: Bernard Mazza	
Catalog #BR1060 GR	Dwg. # HLP-30391	Page: 1 of 1



- NOTES:
- SPECIAL GRADING TO BE USED WHERE TOP OF MANHOLE PROTRUDES ABOVE ORIGINAL GRADE.
 - TOE OF SLOPE SHALL NOT EXTEND BEYOND CASIMENT LINE.
 - SPECIAL GRADING IS SYMMETRICAL AROUND CENTER LINE OF MANHOLE COVER.
 - ALL PRECAST STRUCTURES SHALL MEET HS 20 LOADING REQUIREMENTS AND SHALL CONFORM WITH N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - SUBMIT SHOP DRAWINGS FOR APPROVAL
 - MANHOLES TO WHICH FORCE MAINS ARE CONNECTED SHALL BE LINED WITH DURA-PLATE 100 PVC LINER AND BE PROVIDED WITH WATER-LOK CONNECTOR PRODUCTS, OR OTHER APPROVED MATERIAL RESISTANT TO SULFIDE CORROSION.



DATE:	JULY 1, 2020
SCALE:	N.T.S.
DESIGNED BY:	J.A.B.
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
REVISIONS	AUTH. DATE JOB NO. 1804LA

Van Cleef ENGINEERING ASSOCIATES
SOUTH CENTRAL NEW JERSEY OFFICE
4 AAA DRIVE, SUITE 103, HAMILTON, NJ 08691
EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (609) 689-1100 FAX: (609) 689-1120

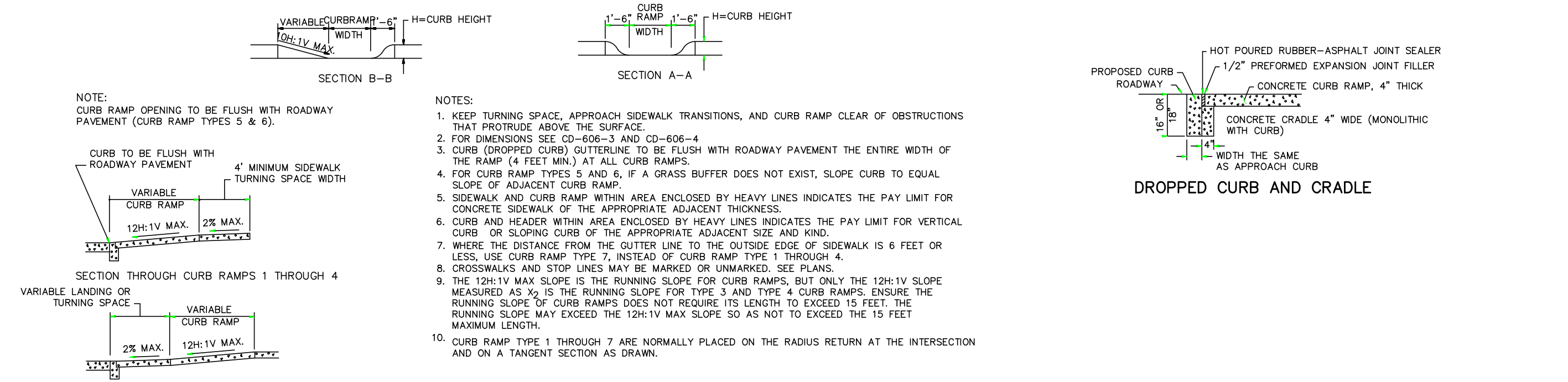
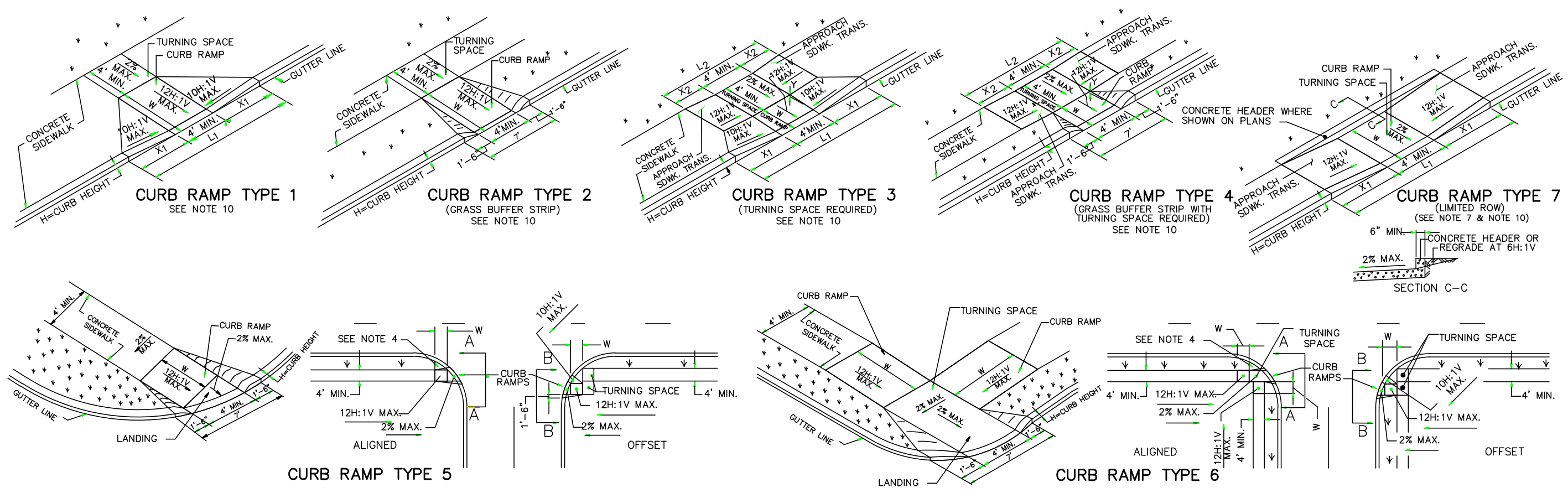
Consulting Civil Engineering
Bridge Design
Highway Design
Construction Inspection
Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. NO. 24G28132300

CONSTRUCTION DETAILS
PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

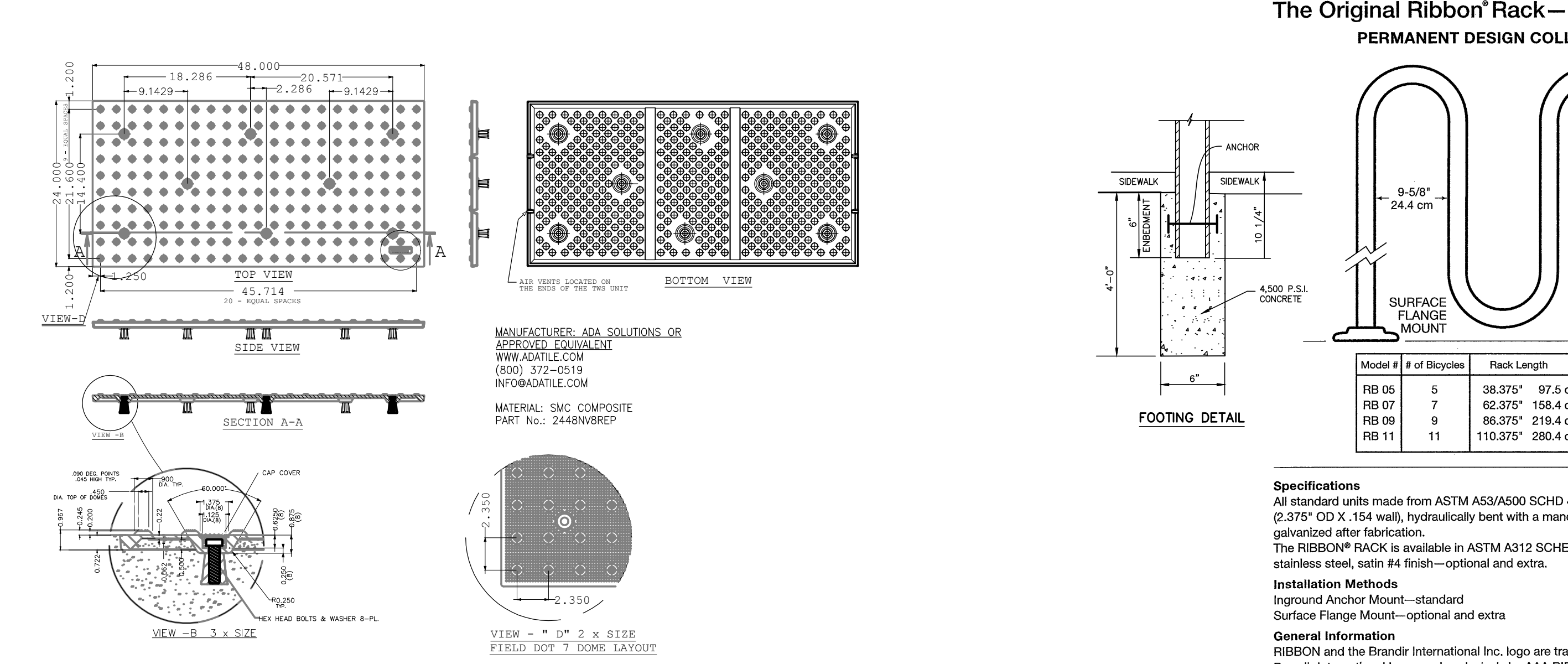
811 Know what's below. Call before you dig. 1-800-272-1000
TO LOCATE UNDERGROUND UTILITIES
IF YOU'RE GOING TO DIG, BLAST OR DRILL THREE (3) WORKING DAYS NOTICE
REMEMBER IT'S THE LAW!
Dig Safely.

ONE CALL LLAME ANTES DE EXCAVAR 811
1-800-272-1000
PREMIER CONSULTOR EN SERVICIOS DE UTILIDADES
SI USTED VA A EXCAVAR, ESTABLEZA O TALADRA, DE AVISO TRES (3) DIAS DE TRABAJO ANTES DE EMPEZAR
RECUERDE ES LA LEY! EXCAVE CON SEGURIDAD
Dig Safely.

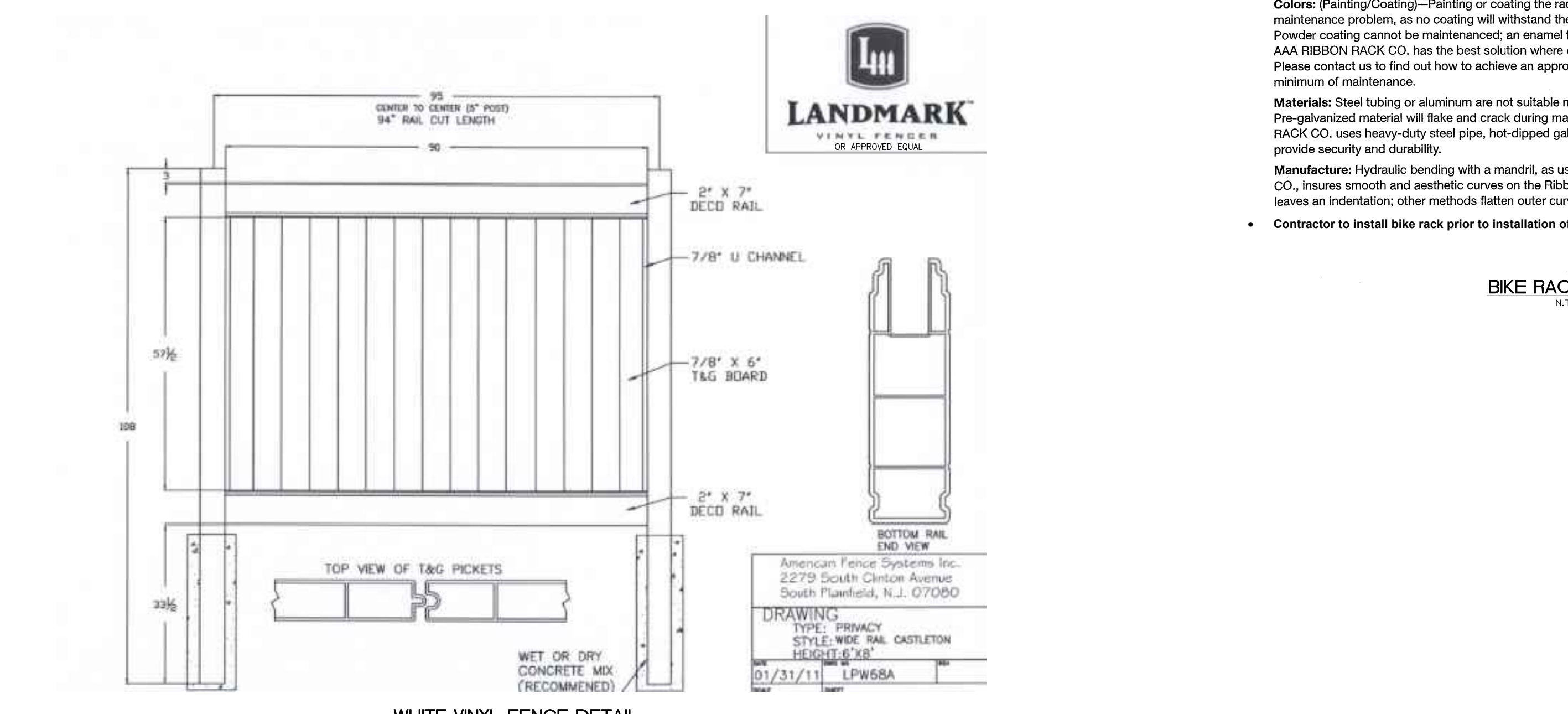
BY: **JAMES A. BASH** N.J. PROFESSIONAL ENGINEER No. 24GE05225800
DATE: 5/24/21



CONCRETE SIDEWALK (PUBLIC SIDEWALK CURB RAMP)
N.T.S.

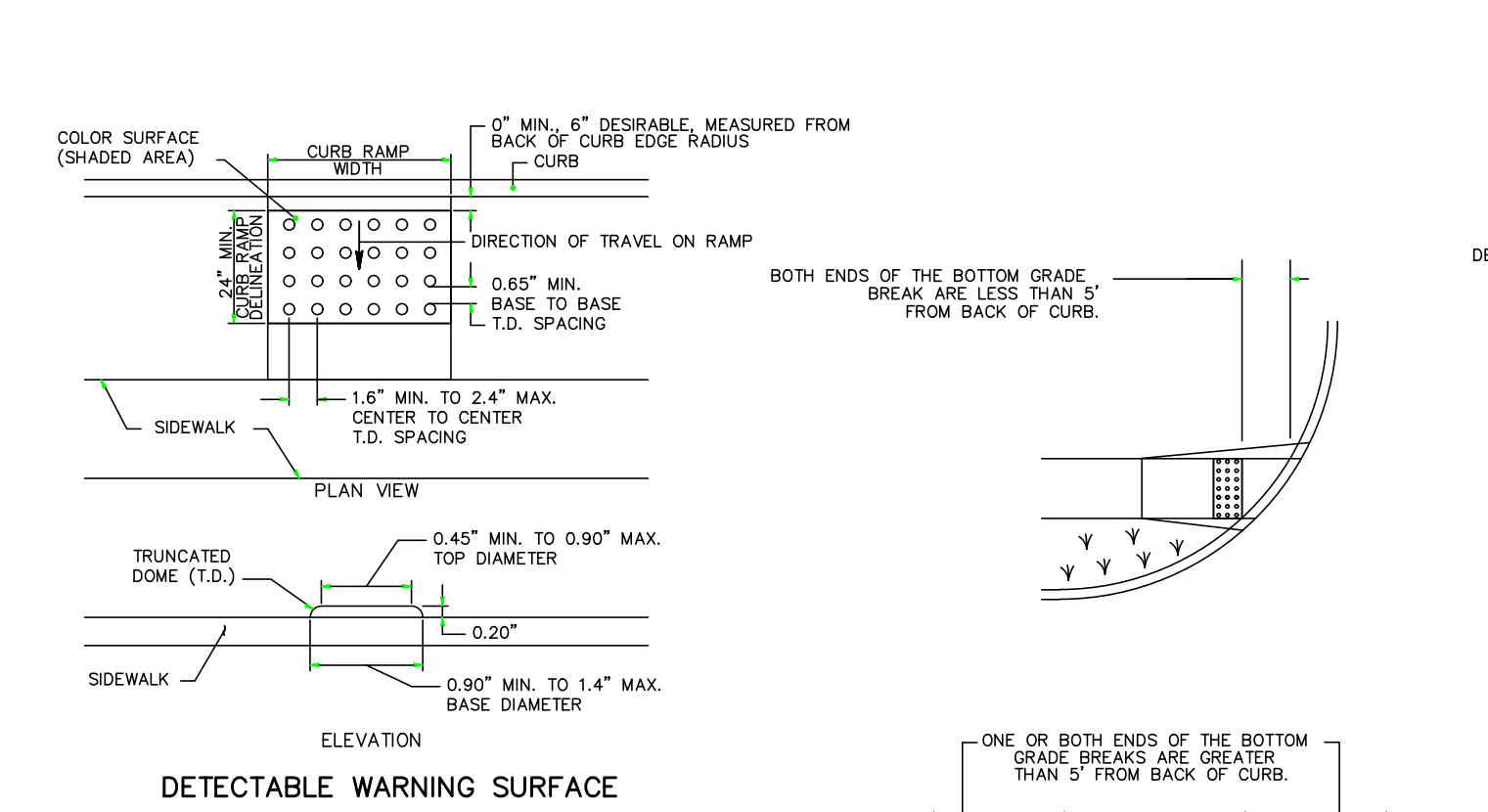


DETECTABLE WARNING SURFACE
N.T.S.

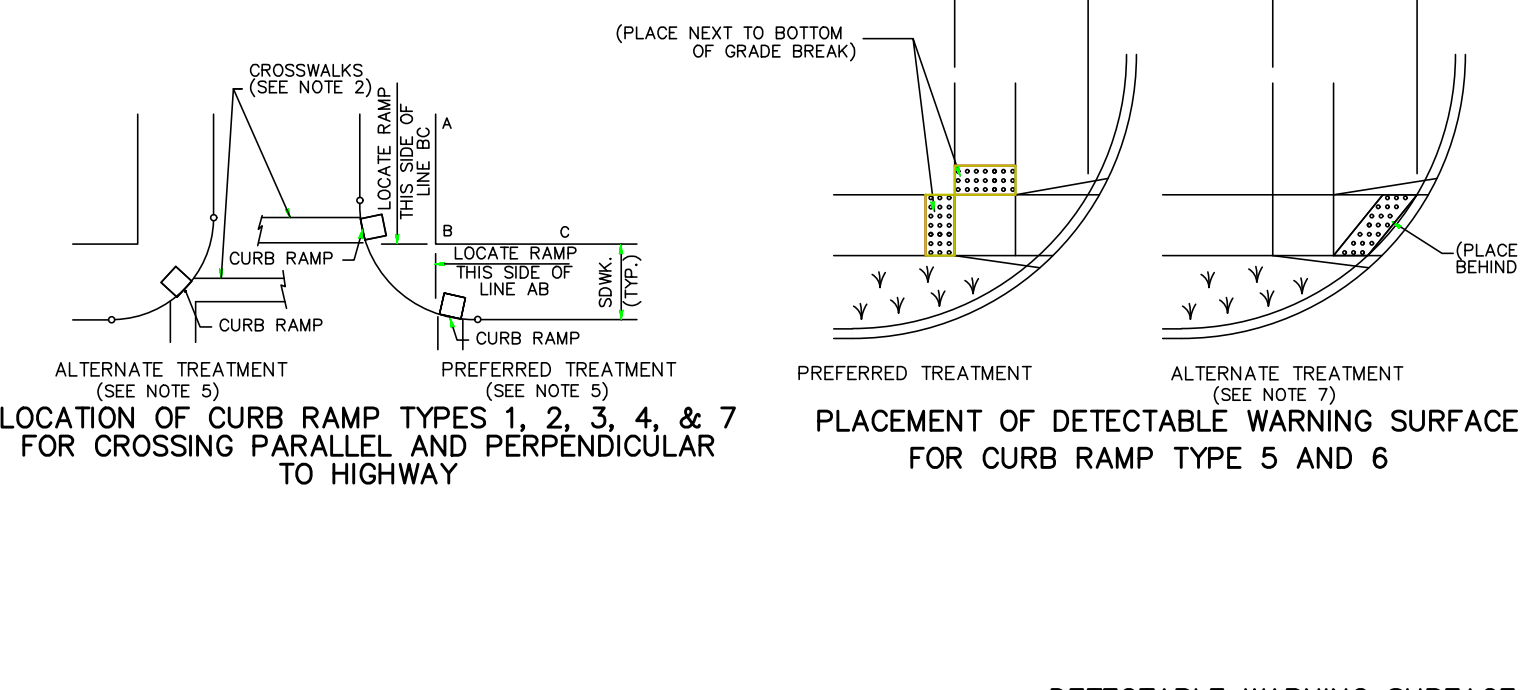


BIKE RACK DETAIL
N.T.S.

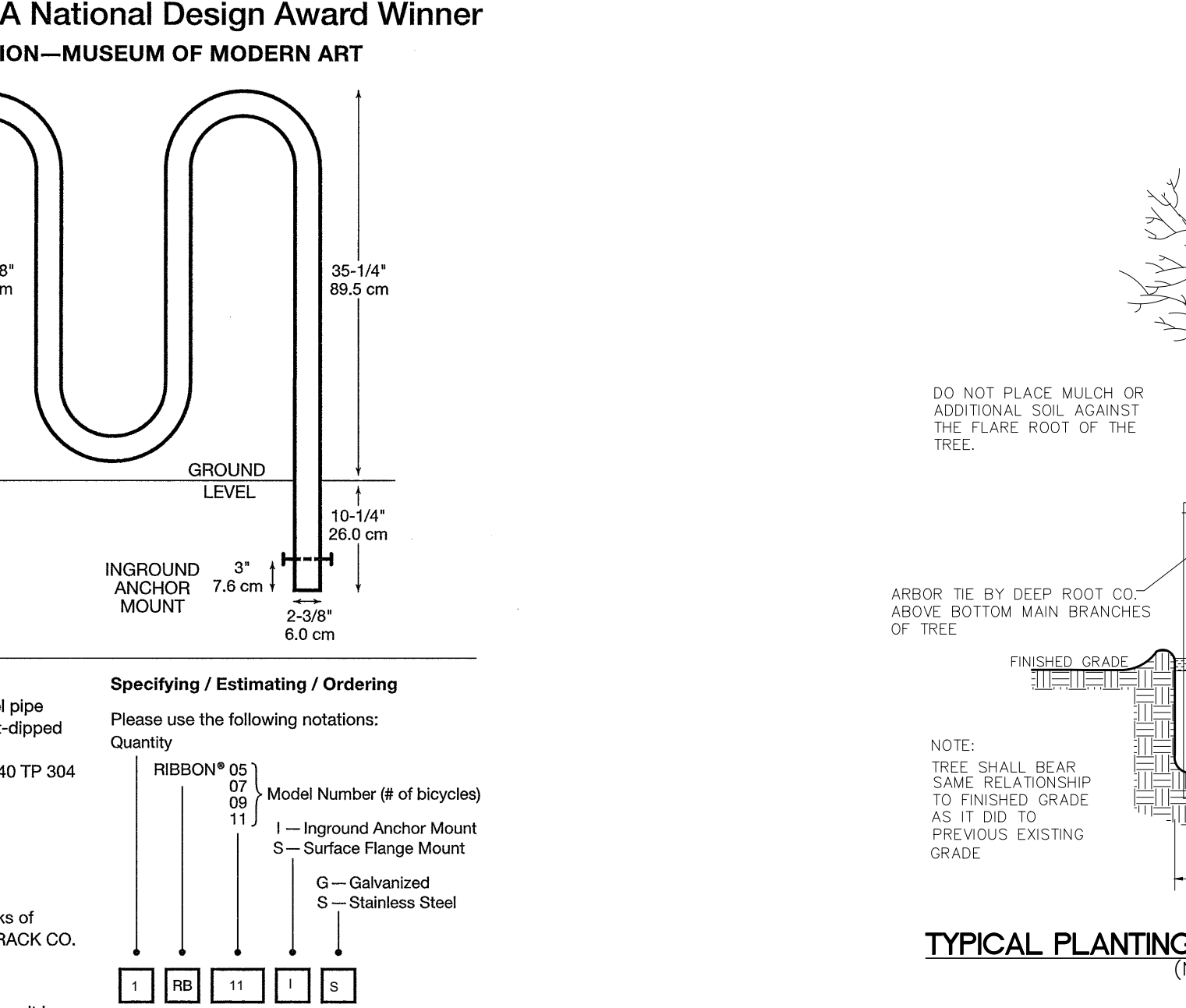
WHITE VINYL FENCE DETAIL
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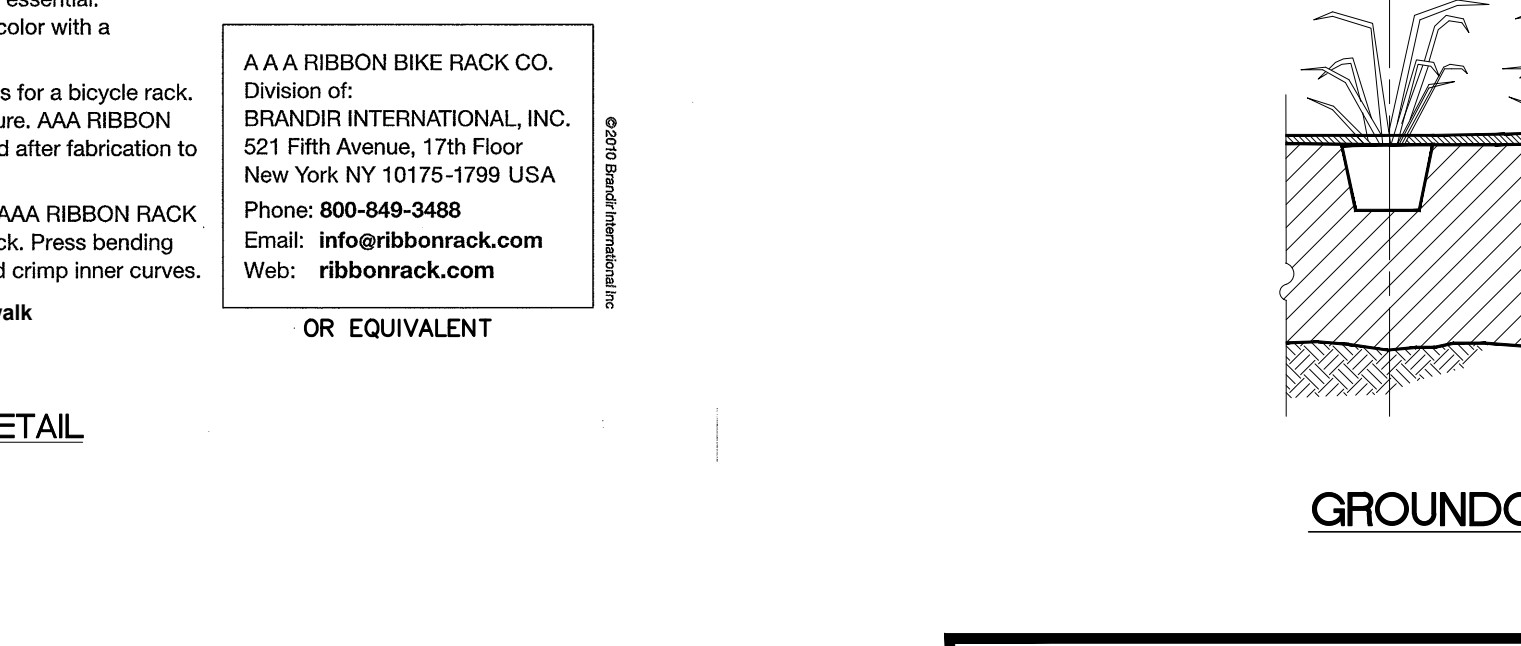
DETECTABLE WARNING SURFACE
N.T.S.



PEDESTRIAN REFUGE ISLAND
N.T.S.



PEDESTRIAN REFUGE ISLAND
N.T.S.



TYPICAL SHRUB BED PLANTING
NO SCALE

TYPICAL PLANTING FOR TREES TO 3 1/2' CAL.
(NOT TO SCALE)



GROUND COVER PLANTING
NO SCALE

TYPICAL GUYING DETAIL
(NOT TO SCALE)

CURB RAMP TYPE 1

INCHES	FEET	INCHES	FEET	INCHES	FEET	INCHES	FEET
3	3	250	250	500	500	3	3
4	4	333	333	667	667	4	4
5	5	417	417	833	833	5	5
6	6	500	500	1000	1000	6	6
7	7	583	583	1167	1167	7	7
8	8	667	667	1333	1333	8	8
9	9	750	750	1500	1500	9	9

CURB RAMP TYPE 7

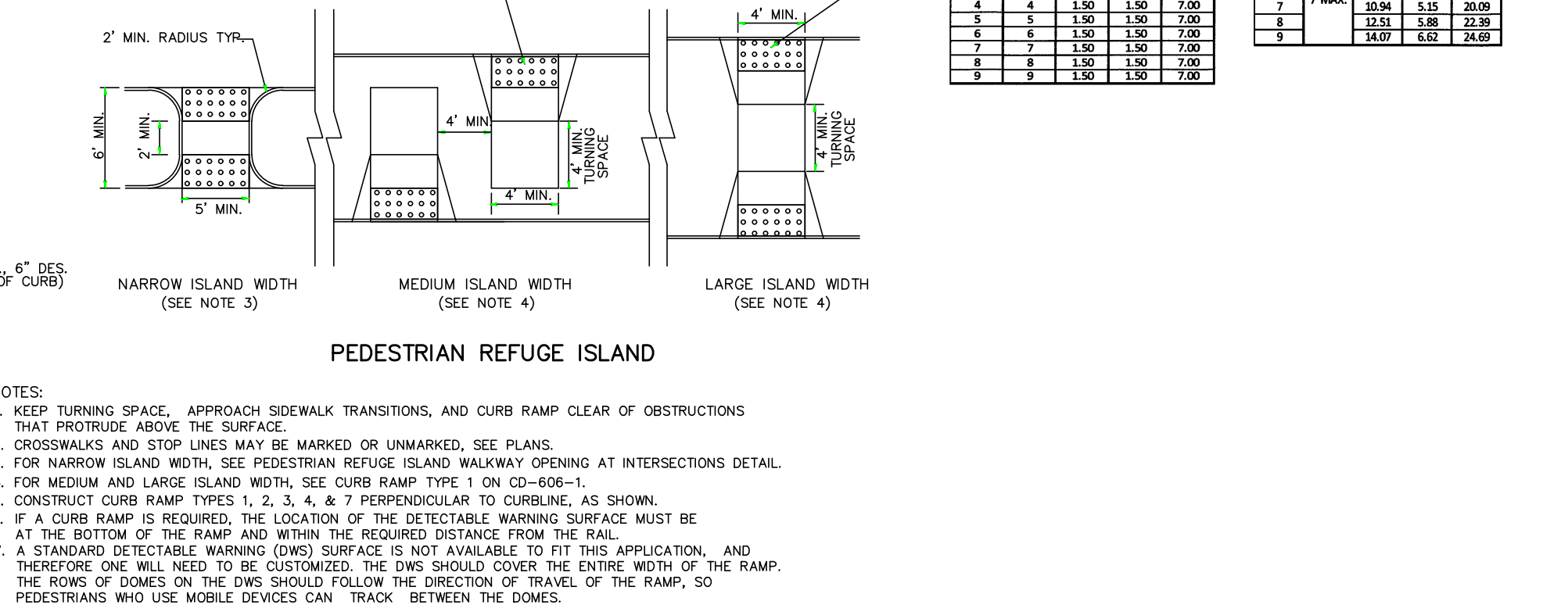
INCHES	FEET	INCHES	FEET	INCHES	FEET	INCHES	FEET
3	3	250	250	500	500	3	3
4	4	333	333	667	667	4	4
5	5	417	417	833	833	5	5
6	6	500	500	1000	1000	6	6
7	7	583	583	1167	1167	7	7
8	8	667	667	1333	1333	8	8
9	9	750	750	1500	1500	9	9

CURB RAMP TYPE 2

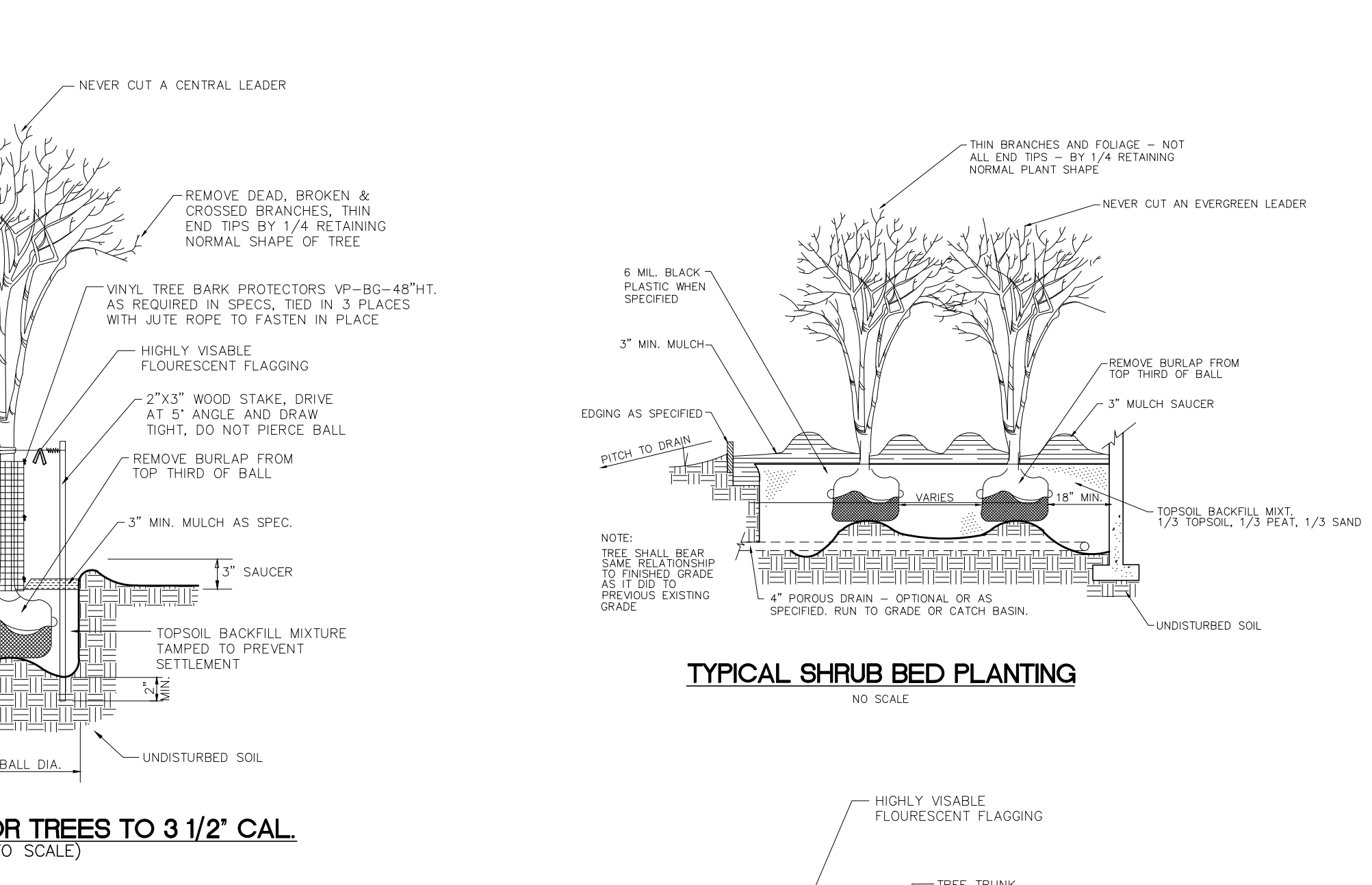
INCHES	FEET	INCHES	FEET	INCHES	FEET	INCHES	FEET
3	3	150	150	300	300	3	3
4	4	200	200	400	400	4	4
5	5	250	250	500	500	5	5
6	6	300	300	600	600	6	6
7	7	350	350	700	700	7	7
8	8	400	400	800	800	8	8
9	9	450	450	900	900	9	9

CURB RAMP TYPE 1
N.T.S.

CURB RAMP TYPE 2
N.T.S.

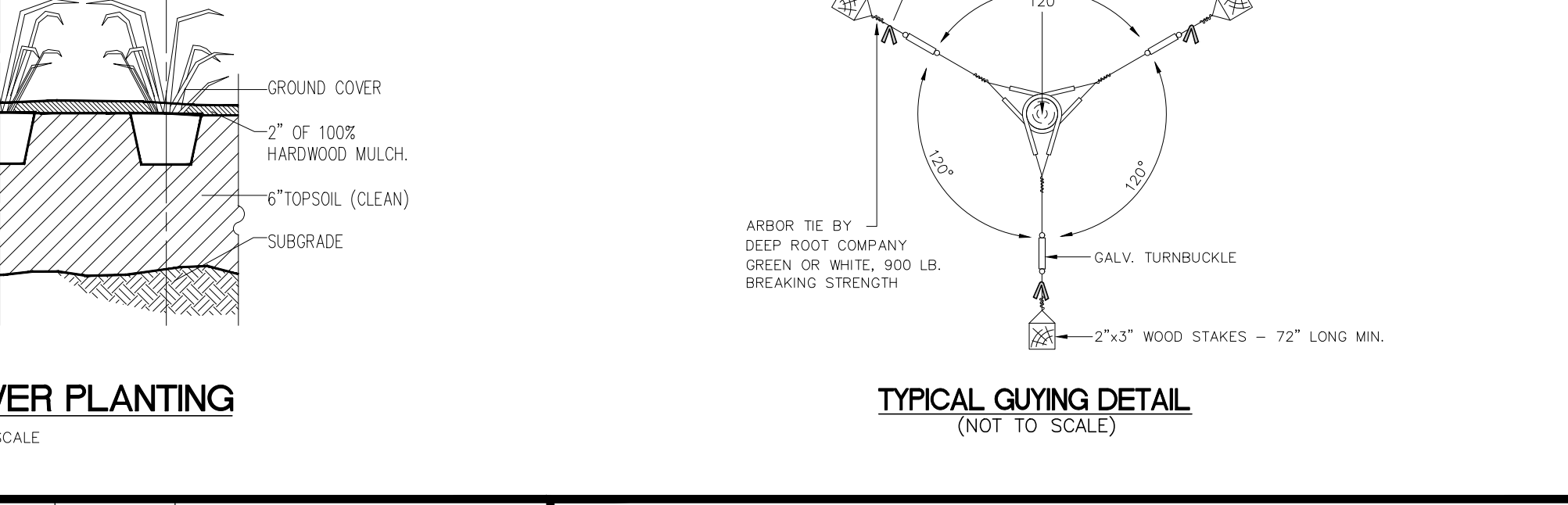


DETECTABLE WARNING SURFACE
N.T.S.



TYPICAL SHRUB BED PLANTING
NO SCALE

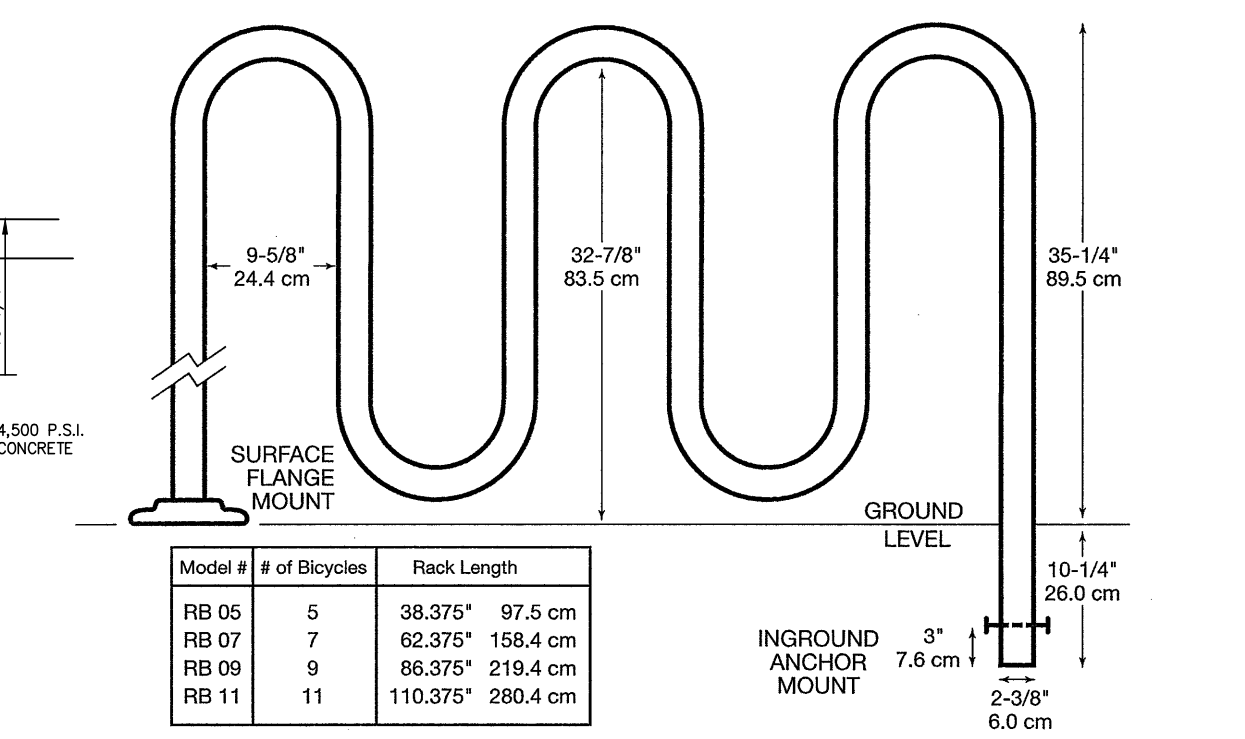
TYPICAL PLANTING FOR TREES TO 3 1/2' CAL.
(NOT TO SCALE)



GROUND COVER PLANTING
NO SCALE

TYPICAL GUYING DETAIL
(NOT TO SCALE)

The Original Ribbon® Rack—IDSA National Design Award Winner
PERMANENT DESIGN COLLECTION—MUSEUM OF MODERN ART



Model #	# of Bicycles	Rack Length
RB 05	5	38.375' 97.5 cm
RB 07	7	52.375' 134.4 cm
RB 09	9	66.375' 168.4 cm
RB 11	11	80.375' 204.4 cm

Specifications
All standard units made from ASTM A53/A500 SCHD 40 steel pipe (2.375" OD X .154 wall), hydraulically bent with a mandril, hot-dipped galvanized after fabrication.

Installation Methods
In-ground Anchor Mount—standard
Surface Flange Mount—optional and extra

General Information
RIBBON and the Brandir International, Inc. logo are trademarks of Brandir International Inc., used exclusively by AAA RIBBON RACK CO. Delivery time: Six weeks or sooner from receipt of order.

Important Considerations
Colors (Painting/Coating)—Painting or coating the rack will result in a maintenance problem, as no coating will withstand the abuse of the bicycles. Powder coating cannot be maintained; an enamel finish will chip. AAA RIBBON RACK CO. has the best solution where color is essential. Please contact us to find out how to achieve an appropriate color with a minimum of maintenance.

Materials: Steel tubing or aluminum are not suitable materials for a bicycle rack. Pre-galvanized material will flake and crack during manufacture. AAA RIBBON RACK CO. uses heavy-duty steel pipe, hot-dipped galvanized after fabrication to provide security and durability.

Manufacturer: Hydraulic bending with a mandril, as used by AAA RIBBON RACK CO., insures smooth and aesthetic curves on the Ribbon® Rack. Press bending leaves an indentation; other methods flatten outer curves and crimp inner curves.

Contractor to install bike rack prior to installation of sidewalk

Specifications / Estimating / Ordering
Please use the following notations:
Quantity
RIBBON® 05 07 09 11
Model Number (# of bicycles)
1—In-ground Anchor Mount
S—Surface Flange Mount
G—Galvanized
S—Stainless Steel

OR EQUIVALENT

BIKE RACK DETAIL
N.T.S.

DATE:	JULY 1, 2020
SCALE:	N.T.S.
DESIGNED BY:	J.A.B.
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
REVISIONS	AUTH. DATE
	JOB NO. 1804LA

BY: **JAMES A. BASH** N.J. PROFESSIONAL ENGINEER No. 24GE05225800 DATE: 5/24/21

Van Cleef ENGINEERING ASSOCIATES
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PHONE: (609) 689-1100 FAX: (609) 689-1120

With Offices in
New York, Pennsylvania & Delaware

CONSTRUCTION DETAILS
PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

Consulting Civil Engineering
Bridge Design
Highway Design
Construction Inspection
Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. NO. 24G028132300